

ABBREVIATION LIST

ABOVE FINISHED FLOOR	ADJUSTABLE	ALUMINUM	ANCHOR BOLT	APPROXIMATELY	ARCHITECTURAL	AT	BEAM	BEARING	BLOCKING	BOARD	BOTTOM	BUILDING	CATCH BASIN	CEILING	CENTER TO CENTER	CENTERLINE	CLEAN OUT	COLUMN	CONCRETE MASONRY UNIT	CONCRETE	CONSTRUCTION	CONTINUOUS	CONTROL JOINT	COURSE	DIAMETER	DIMENSION	DOWN	DOWNSPOUT	DRAINING	EACH FACE	EACH MAY	EACH	ELECTRIC	ELECTRIC WATER COOLER	ELEVATION	EQUAL	EXISTING	EXPANSION JOINT	EXTERIOR	EXTERIOR INSULATION & FINISH SYSTEM	FIBER REINFORCED PLASTIC	FINISH	FINISHED FLOOR	FIRE EXTINGUISHER CABINET	FIRE RETARDANT TREATED	FIXTURE	FLOOR	FLOOR DRAIN	GALVANIZED	GAUGE	GENERAL CONTRACTOR	GLASS	GLASS FIBER REINFORCED CONCRETE	GLASS FIBER REINFORCED GYPSUM	GYPSUM BOARD	HANDICAPPED	HARDWOOD	HEATING/VENTILATING/AIR CONDITIONING	HEAVY DUTY	HOLLOW CORE	HOLLOW METAL	HORIZONTAL	HOSE BIB	HOT WATER HEATER	HOOR	INSIDE DIAMETER	INSULATION	INTERIOR	JOIST BEARING	AFF	ADJ	ALUM	AB	APPROX	ARCH	•	BM	BRG	BLKS	BD	BTM of BV	BLDS	CLNS	C/C	CL	CO	COL	CMU	CONC	CONST	CONT	CJ	CBS	DIA	DIM	DN	DS	DNS	EF	EM	EA	ELEC	ENC	ELEV	EQ	EXIST	EJ	EXT	EIFS	FRP	FIN	FF	FRG	FEC	FRT	FIXT	FLR	FD	GALV	GA	GC	GL	SFRG	GFRG	GYP BD	HCPD	HDWD	HVAC	HD	HC	HM	HORIZ	HB	NH	NH	ID	INSUL	INT	JB	LAMINATED PLASTIC	LANDLORD	LEFT-HAND	LONG LEG HORIZONTAL	LONG LEG VERTICAL	LONG	MANHOLE	MANUFACTURER	MASONRY OPENING	MATERIAL	MAXIMUM	MECHANICAL	METAL	MINIMUM	MISCELLANEOUS	MOUNTED	NA	NOT APPLICABLE	NOT IN CONTRACT	NOT TO SCALE	ON CENTER	OPENING	OPPOS	OUTSIDE DIAMETER	OVERFLOW ROOF DRAIN	PAINT	PAIR	PLATE	PLUS OR MINUS	PLYWOOD	POINT OF SALE	PRESERVATIVE TREATED	PROPERTY LINE	QUARRY TILE	RADIUS	RAIN WATER CONDUCTOR	REINFORCED	REQUIRED	REVISION	RIGHT HAND	RIGHT OF WAY	ROOF DRAIN	SECTION	SHEET	SIMILAR	SPECIFICATION	SQUARE FEET	STAINLESS STEEL	STANDARD	STEEL	STRUCTURAL	SUSPENDED	TELEPHONE	TONGUE AND GROOVE	TOP OF	TOP OF JOIST	TOP OF MASONRY	TOP OF STEEL	TYPICAL	UNLESS NOTED OTHERWISE	VERTICAL	VINYL COMPOSITION TILE	VINYL TILE	VINYL WALL COVERING	WALL COVERING	WELDED WIRE FABRIC	WITH	WITHOUT	WOOD	WORK POINT	LAM	LL	LN	LLH	LLV	L6	MM	MFR	MO	MATL	MAX	MECH	MTL	MIN	MISC	MTD	NA	NIC	NTS	OC or O.C.	OPNS	OPP	OD	ORD	PT	PT	PL	PLD	POS	PPT	P/L	QT	RAD or R	RWC	REIN	REQ'D	REV	RH	ROM	RD	SECT	SHT	SH	SIM	SPEC	SF	SS	STD	STL	STRUCT	SUSP	TEL	T&G	T/	T/L	TOM	TOS	TYP	UNG	VERT	VCT	VT	VWC	WC	WFF	W/	W/O	WP
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★ **REMODELING SOON** ★

TSC TRACTOR SUPPLY CO.

--- THE STUFF YOU NEED OUT HERE ---

www.tractorsupply.com

CONTACTS

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PROJECT SUMMARY

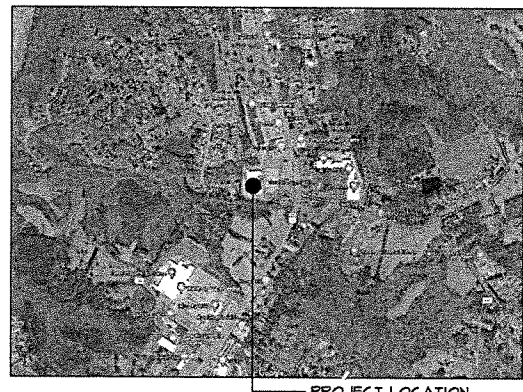
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VICINITY MAP



CHANGE ORDER POLICY

TRACTOR SUPPLY COMPANY SHALL NOT BE RESPONSIBLE FOR THE PAYMENT OF ANY WORK PERFORMED OR MATERIAL SUPPLIED BY THE CONTRACTOR OR ANY OF ITS SUB-CONTRACTORS, SUB-SUBCONTRACTORS AND ANYONE CLAIMING BY THROUGH OR UNDER ANY OF THEM WHICH IS NOT IDENTIFIED IN WRITING AND SIGNED BY ONE OF THE FOLLOWING: TRACTOR SUPPLY COMPANY PERSONNEL, VICE PRESIDENT OF REAL ESTATE, VICE PRESIDENT OF CONSTRUCTION, OR A CONSTRUCTION PROJECT MANAGER. NO ACTION, CONDUCT, OMISSION, PRIOR FAILURE, OR COURSE OF DEALING BY TRACTOR SUPPLY COMPANY SHALL ACT TO WAIVE, MODIFY, CHANGE OR ALTER THE REQUIREMENT THAT ALL WORK, WHETHER BY CONTRACT, CHANGE ORDER OR CHANGE DIRECTIVE, MUST BE IN WRITING AND SIGNED BY THE PERSONNEL IDENTIFIED IN THIS PROVISION. ANY WORK PERFORMED OR MATERIAL PROVIDED BY THE CONTRACTOR, ANY OF ITS SUB-CONTRACTORS, SUB-SUBCONTRACTORS CONTRARY TO THIS PROVISION SHALL BE AT ITS OWN RISK AND OWN EXPENSE AND TRACTOR SUPPLY COMPANY SHALL NOT BE OBLIGATED TO REIMBURSE OR PAY THE CONTRACTOR OR ANY OF ITS SUB-CONTRACTORS, SUB-SUBCONTRACTORS FOR SAME.

GENERAL NOTES

- THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE SITE SUPERVISION FOR THE ENTIRETY OF EACH SHIFT FOR THE DURATION OF THE REMODEL CONSTRUCTION PROCESS. WHEN TWO SHIFTS ARE REQUIRED, A SITE SUPERINTENDENT IS REQUIRED FOR EACH SHIFT.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA A-201, 2001 IS APPLICABLE TO THE PROJECT AND INCLUDED HERE-IN BY REFERENCE.
- DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM THE ARCHITECT TO RESOLVE DISCREPANCIES OR TO SUPPLY ADDITIONAL INFORMATION.
- WORK IS TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES, CONDITIONS STATED ON THE PERMIT DOCUMENTS, LOCAL ORDINANCES, THE U.S. DEPARTMENT OF JUSTICE 2010 ADA STANDARDS, AND THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION (A.U.I.).
- WOOD NOT CLASSIFIED AS INTERIOR FINISH MATERIAL SHALL BE FIRE RETARDANT TREATED. USE AN EXTERIOR GRADE FRT PRODUCT IN EXTERIOR WALL CONSTRUCTION, ROOF RELATED CONSTRUCTION AND FLASHING CONDITIONS.
- WHERE EXISTING STRUCTURAL STEEL IS PROTECTED WITH A FIREPROOFING MATERIAL, PROTECT DURING DEMOLITION, ALTERATION AND CONSTRUCTION. PATCH AND REPAIR ANY MISSING OR DAMAGED FIREPROOFING TO MAINTAIN PROTECTION OF THE STRUCTURE.
- AT PENETRATIONS THROUGH FIRE RATED ASSEMBLIES, PROVIDE PROTECTION MEETING THE REQUIREMENTS OF ASTM E-814 AND BEARING THE APPROPRIATE U.L. LABEL FOR THE CONDITION.
- DESIGN & SELECTION OF SUPPORTS, BRACES, ANCHORS, ATTACHMENTS AND RELATED FASTENERS, UNLESS SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS, IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR, UTILIZING INDUSTRY STANDARD MATERIALS AND METHODS SUITABLE TO THE CONDITION.
- WALL AND CEILING MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO REGISTERS, DIFFUSERS, GRILLES, SPEAKERS, CLEAN-OUTS AND COVER PLATES, WHETHER FACTORY PRE-FINISHED OR NOT, WHICH DO NOT MATCH THE ADJACENT WALL OR CEILING COLOR SHALL BE FIELD PAINTED, UNLESS OTHERWISE NOTED. COLOR AND FINISH TO BE APPROVED BY THE ARCHITECT.
- COMPLY WITH SPECIAL WORKING CONDITIONS RELATING TO THE PROJECT, INCLUDING BUT NOT LIMITED TO REQUIREMENTS FOR TEMPORARY PROTECTION, TRASH MANAGEMENT, NOISE, LIGHT, DUST AND POLLUTION CONTROL, AND LIMITATIONS ON WORKING HOURS.

CONTRACTOR RESPONSIBILITIES

CONTRACTOR SHALL VERIFY EXISTING CONDITIONS ON SITE. DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS AS WELL AS DISCREPANCIES BETWEEN LANDLORD WORK AND TSC WORK SHALL BE BROUGHT TO THE ATTENTION OF TSC AND ARCHITECT IN WRITING PRIOR TO BID SUBMISSION.

ACCESSIBILITY

ALL NEW WORK IS APPLICABLE TO ALL CURRENT LOCAL, STATE AND FEDERAL CODES AND LAWS. WHEN DIFFERING CODES/LAWS ARE APPLICABLE, THE MOST STRINGENT REQUIREMENT SHALL APPLY.

TRACTOR SUPPLY COMBO PROJECT

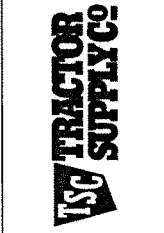
1507 S MAIN ST
FARMVILLE, VA 23901

DRAWING INDEX

ARCHITECTURAL	REVISIONS	DATE		
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LS1.0 LIFE SAFETY PLAN				
D1.0 DEMOLITION PLAN				
A0.0 NOTES & DOOR / HARDWARE SCHEDULES				
A0.1 FINISH SCHEDULES & VENDOR INFORMATION				
A0.2 CONCRETE SPECIFICATION				
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A1.0a EXTERIOR SPECIFICATIONS				
A1.1 ENLARGED PLAN, ELEVATIONS & DETAILS				
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MPI.0 MECHANICAL & PLUMBING SPECIFICATIONS				
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ELECTRICAL				
E1.0 LIGHTING PLAN				
E2.0 POWER PLAN				
E2.2 FIRE PUMP ELECTRICAL PLAN				
E3.1 PROPANE ELECTRICAL PLAN & DETAILS				
E3.1 ELECTRICAL DETAILS & SPECIFICATIONS				

onyx creative

25001 Emery Road, Suite 400
Cleveland, Ohio 44128
216.223.3200 onyxcreative.com



FUSION / SIDE LOT
COMBO PROJECT
STORE #764
1507 S MAIN ST
FARMVILLE, VA 23901

Project No: 1874
Drawn By: EW
Date: Issue
3-9-21 BID / PERMIT
2-2-22 REVISION 1

ABBREVIATION LIST

ABOVE FINISHED FLOOR	AFF	LAMINATED PLASTIC	LAM
ADJUSTABLE	ADJ	LANDLORD	LL
ALUMINUM	ALUM	LEFT-HAND	LH
ANCHOR BOLT	AB	LONG LEG HORIZONTAL	LLH
APPROXIMATELY	APPROX	LONG LEG VERTICAL	LLV
ARCHITECTURAL	ARCH	LONG	LS
AT	•	MANHOLE	MH
BEAM	BM	MANUFACTURER	MFR
BEARINGS	BRG	MASONRY OPENING	MO
BLOCKING	BLKS	MATERIAL	MATL
BOARD	BD	MAXIMUM	MAX
BOTTOM	BTM of BV	MECHANICAL	MECH
BUILDING	BLDG	METAL	MTL
CATCH BASIN	CB	MINIMUM	MIN
CEILING	CLNS	MISCELLANEOUS	MISC
CENTER TO CENTER	C/C	MOUNTED	MTD
CENTERLINE	CL	NOT APPLICABLE	NA
CLEAN OUT	CO	NOT IN CONTRACT	NIC
COLUMN	COL	NOT TO SCALE	NTS
CONCRETE MASONRY UNIT	CMU	ON CENTER	OC or o.c.
CONCRETE	CONC	OPENING	OPNS
CONSTRUCTION	CONST	OPPOSITE	OPP
CONTINUOUS	CONT	OUTSIDE DIAMETER	OD
CONTROL JOINT	CJ	OVERFLOW ROOF DRAIN	ORD
COURSE	C/S	PAINT	PT
DIAMETER	DIA	PAIR	PR
DIMENSION	DIM	PLATE	PL
DOWN	DN	PLUS OR MINUS	+/-
DOWNSPOUT	DS	PLYWOOD	PLYD
DRAWING	DWS	POINT OF SALE	POS
EACH FACE	EF	PRESERVATIVE TREATED	PPT
EACH MAY	EM	PROPERTY LINE	P/L
EACH	EA	QUARRY TILE	QT
ELECTRIC	ELEC	RADIUS	RAD or R
ELECTRIC WATER COOLER	ENC	RAIN WATER CONDUCTOR	RWC
ELEVATION	ELEV	REINFORCED	REINF
EQUAL	EQ	REQUIRED	REQD
EXISTING	EXIST	REVISION	REV
EXPANSION JOINT	EJ	RIGHT HAND	RH
EXTERIOR	EXT	RIGHT OF WAY	ROW
EXTERIOR INSULATION & FINISH SYSTEM	EIFS	ROOF DRAIN	RD
FIBER REINFORCED PLASTIC	FRP	SECTION	SECT
FINISH	FIN	SHEET	SHT
FINISHED FLOOR	FF	SIMILAR	SIM
FIRE EXTINGUISHER CABINET	FEC	SPECIFICATION	SPEC
FIRE RETARDANT TREATED	FRT	SQUARE FEET	SF
FIXTURE	FIXT	STAINLESS STEEL	SS
FLOOR	FLR	STANDARD	STD
FLOOR DRAIN	FD	STEEL	STL
GALVANIZED	GALV	STRUCTURAL	STRUCT
GAUSE	GA	SUSPENDED	SUSP
GENERAL CONTRACTOR	GC	TELEPHONE	TEL
GLASS	GL	T&G	T & G
GLASS FIBER REINFORCED CONCRETE	GFRG	TOP OF	TOP
GLASS FIBER REINFORCED GYPSUM	GFRG	TOP OF JOIST	TOJ
GYPSUM BOARD	GYP BD	TOP OF MASONRY	TOM
HANDICAPPED	KCPD	TOP OF STEEL	TOS
HARDWOOD	HWD	TYPICAL	TYP
HEATING/VENTILATING/AIR CONDITIONING	HVAC	UNLESS NOTED OTHERWISE	UNO
HEAVY DUTY	HD	VERTICAL	VERT
HOLLOW CORE	HC	VINYL COMPOSITION TILE	VCT
HOLLOW METAL	HM	VINYL TILE	VT
HORIZONTAL	HORIZ	VINYL MALL COVERING	VMC
HOSE BIBB	HB	MALL COVERING	MC
HOT WATER HEATER	NH	WELDED WIRE FABRIC	WWF
HOOR	HR	WITH	W/
INSIDE DIAMETER	ID	WITHOUT	W/O
INSULATION	INSUL	WOOD	WD
INTERIOR	INT	WORK POINT	WP
JOIST BEARINGS	JB		



REMODELING SOON

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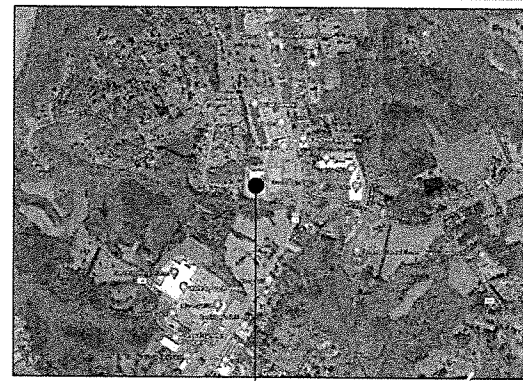
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E2.0 POWER PLAN		
E2.1 PROPANE ELECTRICAL PLAN & DETAILS		
E3.1 ELECTRICAL DETAILS & SPECIFICATIONS		



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 25001 Emery Road, Suite 400
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FUSION / SIDE LOT
COMBO PROJECT
 STORE #784
 1507 S MAIN ST
 FARMVILLE, VA 23901

Project No: 884
 Drawn By: EW
 Date: 3-9-21
 Issue: 00 / PERMIT

T1.0

COVER SHEET

GENERAL NOTES:

PARKING REQUIREMENTS

1. FIVE (5) SPACES PER 1,000 SQUARE FEET REQUIRED (OR 1 PER 200 S.F.) OR AS REQUIRED BY LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
2. BAY SPACING, AS NOTED ON PLAN IS PREFERRED, WITH A PARKING STALL SIZE OF 9' WIDTH x 18' LENGTH AND 90-DEGREE ORIENTATION.
3. STRIPING AND GRAPHICS SHALL USE A SINGLE 4" WIDE WHITE STRIPE, DIRECTIONAL ARROWS AND LETTERING ARE SOLID WHITE AS REQUIRED.

LANDSCAPE AREAS AND IRRIGATION

1. IF INSTALLED, IRRIGATION SYSTEM TO BE COMPATIBLE WITH THE PLANT MATERIAL AND ENVIRONMENTAL EXPOSURE.
2. LANDSCAPE SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF LOCAL LANDSCAPE CODES AND BE COMPATIBLE/CONSISTENT IN MATERIAL AND QUALITY OF THE OVERALL DEVELOPMENT.
3. LANDSCAPE TO BE DESIGNED WITH CONSIDERATION TO SIGHT LINES TO BUILDING SIGNAGE AND ENTRY ELEMENTS AS TO NOT REDUCE VISIBILITY.

GRADING AND DRAINAGE

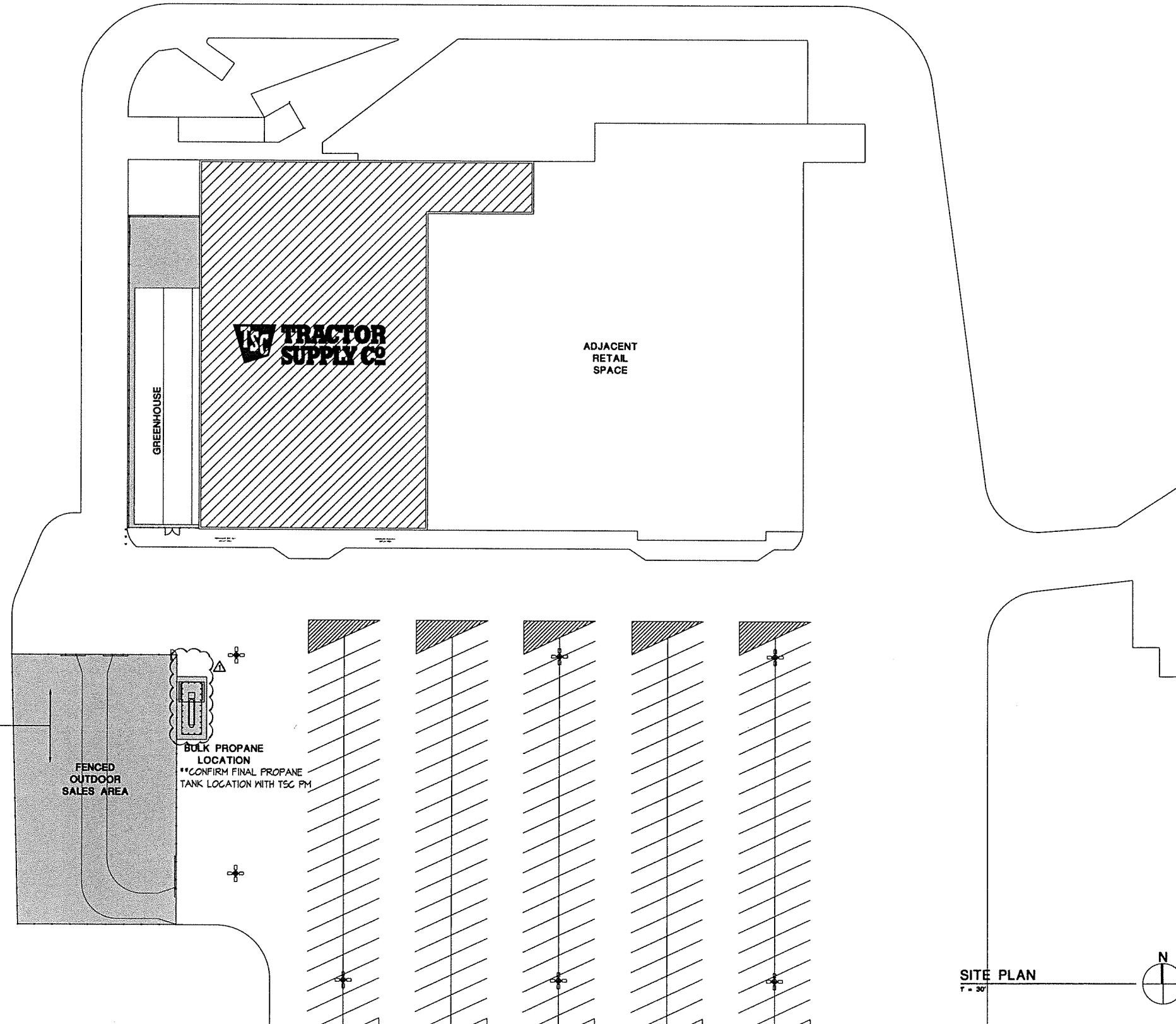
1. DRAINAGE SHALL FLOW AWAY FROM BUILDINGS AND SIDEWALK CURBS. SIDEWALKS SHALL SLOPE AWAY FROM BUILDING AT 1/8" PER FOOT (MIN.)
2. PROVIDE ALL REQUIRED UNDERGROUND AND SLEEVING ALL UTILITY AND IRRIGATION CONNECTIONS.

UTILITIES

1. TAKE EXTRA CARE WHEN INSTALLING NEW UNDERGROUND WORK AS TO NOT AFFECT EXISTING UTILITIES.

SITE LIGHTING

1. MINIMUM MAINTAINED ILLUMINATION AT GROUND SURFACE: REPAIR OR REPLACE FIXTURES AND LAMPS THAT ARE NOT OPERATIONAL.
2. ALL CONCRETE LIGHT POLE BASES ARE TO BE PAINTED SAFETY YELLOW UNLESS OTHERWISE REQUIRED BY AUTHORITY HAVING JURISDICTION (REFER TO SCOPE OF WORK SUMMARY FOR ADDITIONAL INFORMATION).



FLUSION / SIDE LOT
COMBO PROJECT
 STORE #784
 1507 S MAIN ST
 FARMVILLE, VA 23801

Project No: 18014
 Drawn By: EW
 Date: 3-9-21
 Issue: RD / PERMIT
 2-2-22 REVISION 1

AS1.0

SITE PLAN

GENERAL NOTES:

PARKING REQUIREMENTS

1. FIVE (5) SPACES PER 1,000 SQUARE FEET REQUIRED (OR 1 PER 200 S.F.) OR AS REQUIRED BY LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
2. BAY SPACING, AS NOTED ON PLAN IS PREFERRED, WITH A PARKING STALL SIZE OF 9' WIDTH x 18' LENGTH AND 90-DEGREE ORIENTATION.
3. STRIPING AND GRAPHICS SHALL USE A SINGLE 4" WIDE WHITE STRIPE. DIRECTIONAL ARROWS AND LETTERING ARE SOLID WHITE AS REQUIRED.

LANDSCAPE AREAS AND IRRIGATION

1. IF INSTALLED, IRRIGATION SYSTEM TO BE COMPATIBLE WITH THE PLANT MATERIAL AND ENVIRONMENTAL EXPOSURE.
2. LANDSCAPE SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF LOCAL LANDSCAPE CODES AND BE COMPATIBLE/CONSISTENT IN MATERIAL AND QUALITY OF THE OVERALL DEVELOPMENT.
3. LANDSCAPE TO BE DESIGNED WITH CONSIDERATION TO SIGHT LINES TO BUILDING SIGNAGE AND ENTRY ELEMENTS AS TO NOT REDUCE VISIBILITY.

GRADING AND DRAINAGE

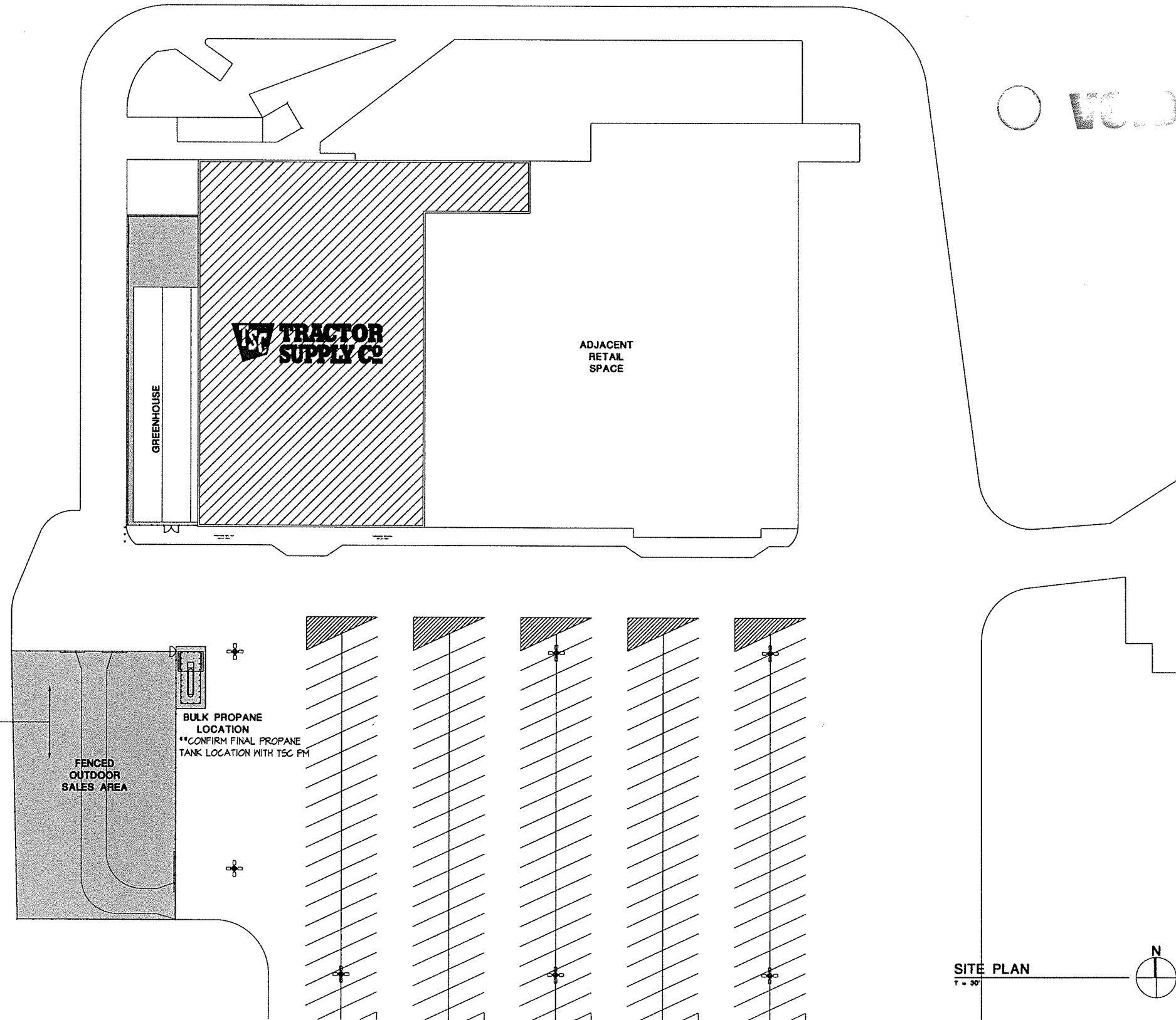
1. DRAINAGE SHALL FLOW AWAY FROM BUILDINGS AND SIDEWALK CURBS. SIDEWALKS SHALL SLOPE AWAY FROM BUILDINGS AT 1/8" PER FOOT (MIN).
2. PROVIDE ALL REQUIRED UNDERGROUND AND SLEEVING ALL UTILITY AND IRRIGATION CONNECTIONS.

UTILITIES

1. TAKE EXTRA CARE WHEN INSTALLING NEW UNDERGROUND WORK AS TO NOT AFFECT EXISTING UTILITIES.

SITE LIGHTING

1. MINIMUM MAINTAINED ILLUMINATION AT GROUND SURFACE; REPAIR OR REPLACE FIXTURES AND LAMPS THAT ARE NOT OPERATIONAL.
2. ALL CONCRETE LIGHT POLE BASES ARE TO BE PAINTED SAFETY YELLOW UNLESS OTHERWISE REQUIRED BY AUTHORITY HAVING JURISDICTION (REFER TO SCOPE OF WORK SUMMARY FOR ADDITIONAL INFORMATION).



SLOPE OF SIDE LOT SURFACE SHALL BE 15% - 3% MAX. IN ANY DIRECTION. **NOTE THAT SOME LOCAL JURISDICTIONS MAY REQUIRE A MAX. SLOPE OF 2%.

BULK PROPANE LOCATION
 **CONFIRM FINAL PROPANE TANK LOCATION WITH TSC PM

SITE PLAN
 1 - 30



Project No: 8894
 Drawn By: EW
 Date: Issue
 3-9-21 BID / PERMIT

CODE SUMMARY

- 2015 VIRGINIA BUILDING CODE
- 2015 VIRGINIA PLUMBING CODE
- 2015 VIRGINIA MECHANICAL CODE
- 2015 VIRGINIA FUEL GAS CODE
- 2020 NATIONAL ELECTRIC CODE
- 2015 VIRGINIA ENERGY CONSERVATION CODE
- 2015 INTERNATIONAL FIRE CODE

NUMBER OF STORIES:

1 - EXISTING

OCCUPANCY CLASSIFICATION:

MERCANTILE

CONSTRUCTION TYPE:

II-B

FIRE PROTECTION:

SPRINKLERED

EXISTING MAIN BUILDING: EXISTING TO REMAIN

PROPOSED GREENHOUSE: NEW DRY PIPE SPRINKLER, REFER TO SHEET FPL0 FOR REFERENCE (TO BE SUBMITTED BY OTHERS).

ALARM SYSTEM:

ALARMED

EXISTING MAIN BUILDING: EXISTING TO REMAIN

PROPOSED GREENHOUSE: ADDED TO EXISTING SYSTEM (TO BE SUBMITTED BY OTHERS).

AREA AND OCCUPANT LOAD CALCULATIONS:

MAIN BUILDING (EXISTING TO REMAIN)

MERCANTILE: 19,174 SF / 60 = 319 OCCUPANTS

BUSINESS: 2,170 SF / 100 = 22 OCCUPANTS

STORAGE: 4,150 SF / 300 = 14 OCCUPANTS

MAIN BUILDING TOTAL: 26,494 SF AND 364 OCCUPANTS (EXISTING TO REMAIN)

EXISTING EGRESS:

M: 393 x 0.2 = 66.6' REQ'D x 50% = 33.3'; 64' x 34' = 116' PROVIDED

B: 22 x 0.2 = 4.4' REQ'D; 32' PROVIDED.

S: 14 x 0.2 = 2.8' REQ'D; 32' PROVIDED.

**EGRESS HAS BEEN CALCULATED INDEPENDENTLY TO SHOW COMPLIANCE. IT IS NOT THE INTENT FOR THE ADDITION TO EGRESS INTO THE EXISTING MAIN BUILDING, OR FOR THE MAIN BUILDING TO EGRESS INTO AND THROUGH THE PROPOSED GREENHOUSE.

PROPOSED GREENHOUSE AREA (NEW)

GARDEN CENTER (MERCANTILE): 4,150 SF / 60 = 79 OCCUPANTS

79 x 0.2 = 15.8' EGRESS REQUIRED (32' MIN) & 2 EXITS MIN.

68' x 32' EXITS PROVIDED (TOTAL = 100')

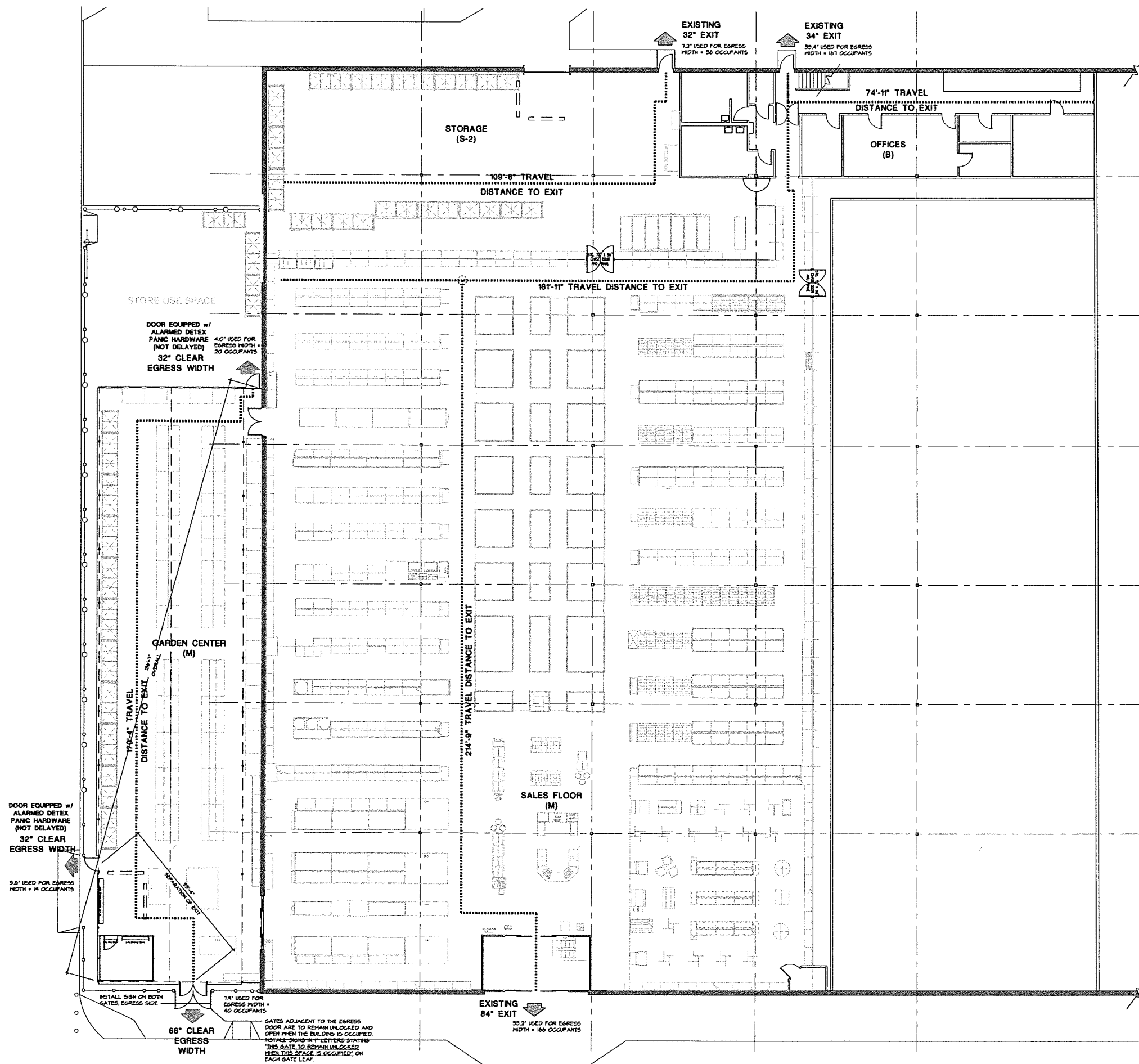
GREENHOUSE AREA TOTAL: 4,150 SF AND 79 OCCUPANTS

TOTAL OCCUPANT LOAD: 31,644 SF AND 443 OCCUPANTS

GENERAL BUILDING NOTES:

1. PROVIDE TACTILE SIGNAGE AT ALL EXTERIOR DOORS.

2. PROTRUDING OBJECTS IN THE EGRESS PATH MUST COMPLY WITH THE CODE AND ACCESSIBILITY REQUIREMENTS.



LIFE SAFETY PLAN
3/32" = 1'-0"

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TRACTOR SUPPLY CO.

COMBO PROJECT
FUSION / SIDE LOT
STORE #784
1507 S MAIN ST
FARMVILLE, VA 23901

Project No: 8804
Drawn By: EW
Date: 3-9-21
By: BD / PER/MAT

LS1.0

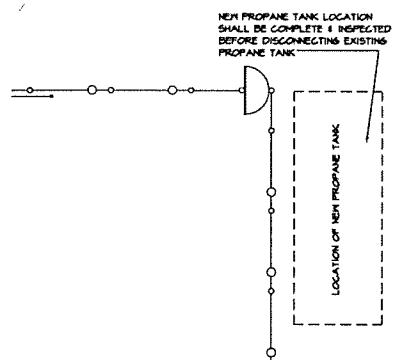
LIFE SAFETY PLAN

DEMOLITION CODED NOTES

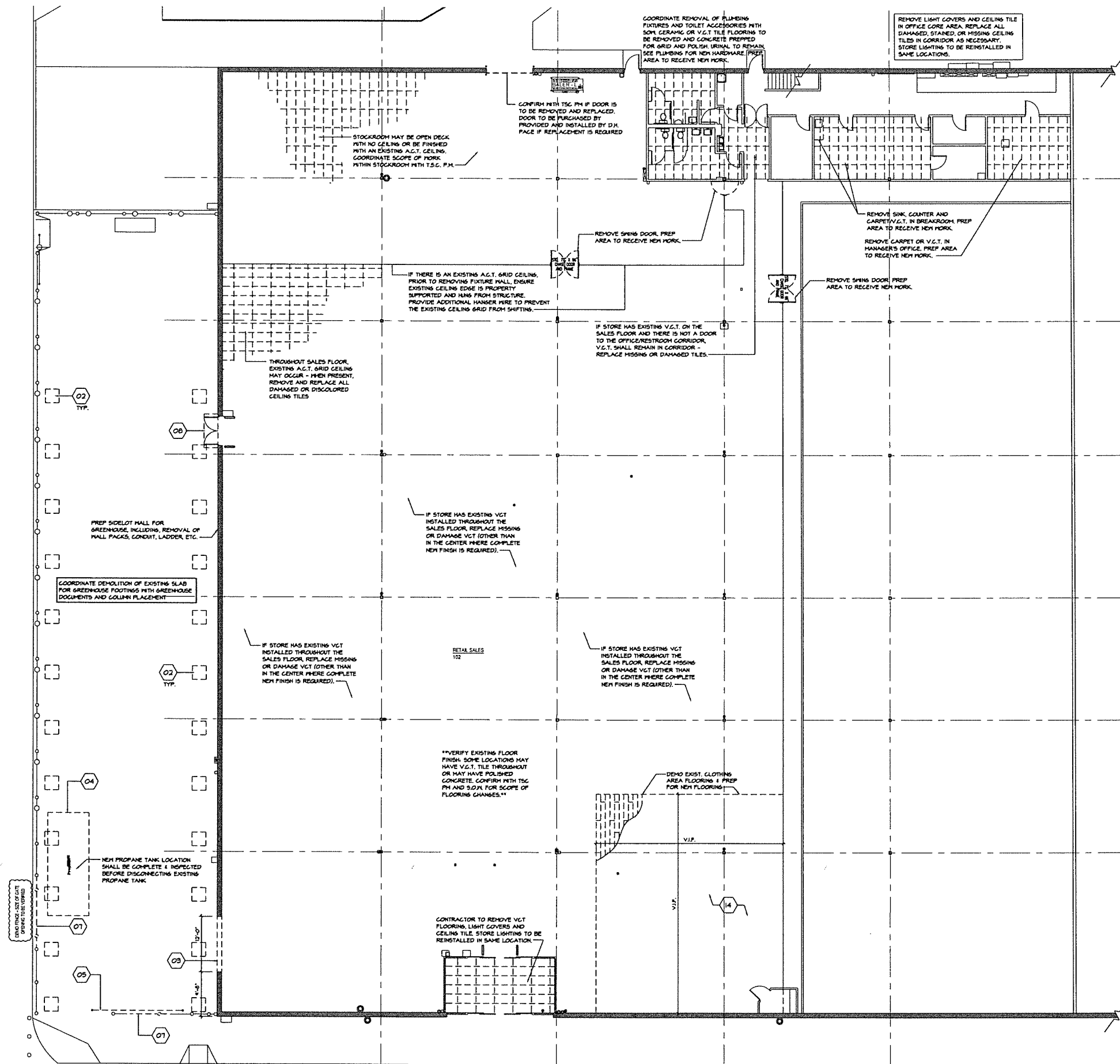
- 01 NOT USED.
- 02 SAM-CUT & DEMO AS REQUIRED FOR GREENHOUSE FOOTINGS; SEE GREENHOUSE DOCUMENTS FOR ADDITIONAL INFORMATION AND LAYOUT LOCATIONS.
- 03 SAM-CUT AND REMOVE EXISTING MASONRY BUILDING WALL TO CREATE NEW MASONRY OPENINGS FOR SLIDING DOORS WHERE INDICATED. REFER TO SHEET A10 & S10 FOR ADDITIONAL INFORMATION.
- 04 ***DO NOT DISCONNECT OR REMOVE PROPANE TANK PRIOR TO FINAL RELOCATION DESTINATION IS COMPLETE AND INSPECTED TO MINIMIZE PROPANE USE SHUTDOWN***
REMOVE EXISTING PROPANE TANK AND BOLLARDS AND PATCH DAMAGE AND HOLES. RELOCATE TANK AND EQUIPMENT WHERE INDICATED. PATCH ALL TRENCHING. REFER TO SHEET A10 FOR ADDITIONAL INFORMATION. COORDINATE WITH TSC PM.
- 05 REMOVE EXISTING CANTILEVERED GATES. PREPARE AREA TO RECEIVE NEW WORK.
- 06 REMOVE EXISTING MAN GATE. PREPARE AREA TO RECEIVE NEW WORK.
- 07 REMOVE EXISTING FENCE WHERE INDICATED. PREPARE AREA TO RECEIVE NEW WORK. REFER TO SHEET A10 FOR ADDITIONAL INFORMATION.
- 08 REMOVE EXISTING CANOPY OVER DOOR (EXISTING DOOR TO REMAIN). PATCH MALL PENETRATIONS AND CONCRETE WHERE NECESSARY; PREPARE AREA TO RECEIVE NEW WORK.
- 09 REMOVE EXISTING ROOF ACCESS LADDER AND RELOCATE TO WHERE INDICATED. REFER TO SHEET A10 FOR ADDITIONAL INFORMATION.
- 10 REMOVE PAINTED GROUND MARKINGS ON CONCRETE WITHIN THE NEW GREENHOUSE AND FEED STORAGE BUILDING SLABS, INCLUDING STRIPING AND CLEARANCE CROSS-HATCHING.
- 11 REMOVE EXISTING SHELTER AND ALL ASSOCIATED COMPONENTS. PATCH CONCRETE AS NECESSARY TO MATCH ADJACENT SURFACES.
- 12 MODIFY EXISTING SIDEWALK AND CURB CUT FOR NEW DRIVE-THRU ACCESS. REFER TO SHEET A10 FOR LOCATION AND ADDITIONAL INFORMATION.
- 13 MODIFY EXISTING PARKING LOT STRIPING FOR LOCATION OF NEW PROPANE TANK (LOCATION OF TANK VARIES) AND/OR THE APPROACH TO THE DRIVE THRU. EXISTING PARKING SPACES TO BE BLACKED-OUT, COVERED OR REMOVED TO ALLOW FOR NEW CROSS-HATCH STRIPING (CROSS-HATCH AT PROPANE TANK ONLY).
- 14 REMOVE EXISTING FLOORING (CARPET, VGT, ETC.) AND REMOVE ALL SLUE / MASTIC. PREP FLOOR FOR NEW WORK.

GENERAL DEMOLITION NOTES

1. DEMOLITION PLAN SHOWS THE APPROXIMATE LAYOUT OF EXISTING BUILDING SPACE AND IS NOT INTENDED TO REPRESENT 'AS-BUILT' CONDITIONS. PRIOR TO ANY DEMOLITION WORK, THE CONTRACTOR MUST FIELD VERIFY EXISTING BUILDING CONDITIONS AS WELL AS VERIFY EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL WORK LOCATED IN THE DEMOLITION SPACE. NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES.
2. PROTECT EXISTING CONSTRUCTION SHOWN TO REMAIN DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION.
3. PROTECT FROM DAMAGE ALL EXISTING FINISH WORK TO REMAIN IN PLACE AND WHICH BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
4. PROVIDE ALL NECESSARY SHORINGS, BRACINGS, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT STRUCTURE OR ELEMENT SHOWN TO REMAIN. SHORINGS AND BRACINGS SHALL BE DESIGNED BY CONTRACTOR'S PROFESSIONAL ENGINEER LICENSED IN THE APPLICABLE JURISDICTION.
5. REFER TO MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.



PROPANE TANK DEMOLITION PLAN
3/32" = 1'-0"



DEMOLITION PLAN
3/32" = 1'-0"



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Cleveland, Ohio 44128
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Design and construction documents are prepared in accordance with the applicable building codes and standards. The contractor is responsible for verifying the accuracy of the information provided on the site and for obtaining all necessary permits. The contractor shall be responsible for coordinating all utility work and for protecting existing structures and utilities. The contractor shall be responsible for obtaining all necessary insurance and bonding. The contractor shall be responsible for maintaining access to adjacent properties and for restoring the site to its original condition. The contractor shall be responsible for all safety and health matters during the construction process.



FUSION / SIDE LOT
COMBO PROJECT
STORE #784
1507 S MAIN ST
FARMVILLE, VA 23901

Project No: 1804
Drawn By: EW
Date: 3-9-21
Issue: BID / PERMIT

D1.0

DEMOLITION PLAN

PART 1 - GENERAL

1.01 QUALITY ASSURANCE

- A. Concrete Supplier: A firm experienced in producing ready-mixed concrete that complies with ASTM C 14 requirements for production facilities and equipment.
B. Testing Agency Qualifications: An independent agency, qualified according to ASTM C 1077 and ASTM E 529 for testing indicated, as documented according to ASTM E 549.
C. Concrete Contractor Qualification: Concrete Contractor shall include in their bid package to the General Contractor, a minimum of three similar and successful projects that clearly indicate the Concrete Contractor's ability to successfully perform the work and to achieve the interior sales floor slab tolerances required in this specification.

- E. Concrete Sales Floor Pre-installation Conference: At least 30 days prior to the start of the concrete slab construction, the General Contractor shall conduct a meeting to review the proposed concrete mix design and to discuss the required methods and procedures to achieve the requirements of this specification.
I. The General Contractor shall require responsible representatives of every party concerned with the concrete work to attend the conference, including, but not limited to the following:
a. General Contractor: Project Manager and Superintendent
b. Testing Agency: Responsible for concrete mixes, quality control, floor tolerance testing, etc.
c. Ready-mix Concrete Producer: Concrete mix discussion
d. Concrete Contractor
e. Chemical Admixture Manufacturer
f. NOT USED
g. NOT USED
h. NOT USED

PART 2 - PRODUCTS

2.01 MATERIALS

- A. Concrete materials:
1. Portland Cement: ASTM C150/ C150M, Type I, Type II or Type VII. Use one brand of cement throughout the project.
2. Coarse and Fine Aggregates: ASTM C 33. Combined aggregate gradation for slabs on grade and other designated concrete shall be 8% - 18% for large top size aggregates (1 1/2") or 8% - 22% for smaller top size aggregates (1" or 3/4") retained on each sieve below the top size and above the no. 100 sieve.
3. Water: complying with ASTM C144.
4. Air-Entraining Admixture (Interior Concrete): Air-entraining admixture shall not be used on interior concrete.

2.02 CONCRETE MIXES

- A. Comply with ACI 301 requirements for concrete mixes.
B. Concrete mixes shall be proportioned according to ACI 301, for normal-weight concrete determined by either laboratory trial mix or field test data.
C. Compressive strength (28 days): 4000 psi, with a maximum water/cement ratio of .58, unless otherwise indicated on the drawings.
D. Slump: Concrete shall have a maximum slump of 5 1/2" for the interior sales floor slab and exterior side yard.

capabilities of the pumping equipment. For concrete containing macro-synthetic fibers, additional water reducer may be necessary. The addition of water is not permitted into concrete mixture after addition of macro-synthetic fibers.

Table with 2 columns: Materials and Prototype mix. Interior Sales Floor Prototype mix: Cement 517-564 lbs, Fly ash/slag Prohibited, Coarse aggregate 12 cubic feet +/- 50 (#467 stone), etc.

Table with 2 columns: Materials and Prototype mix. Exterior Side Yard Prototype mix: Cement 517-564 lbs, Fly ash/slag Prohibited, Coarse aggregate 12 cubic feet +/- 50 (#467 stone), etc.

PART 3 - EXECUTION

3.01

INSTALLATION (GENERAL)

- A. Formwork: Design, construct, erect, shore, brace, and maintain formwork according to ACI 301.
B. Vapor Retarder: ASTM E 1649 (if indicated on drawings). Install, protect, and repair vapor-retarder sheets: place sheets in position with longest dimension parallel with direction of pour.
C. Steel Reinforcement (if indicated on drawings): Comply with CRSI's Manual of Standard Practice for fabricating, placing and supporting reinforcement.

3.02 CONCRETE PLACEMENT

- A. Carbon Monoxide / Carbon Dioxide Exposure: If the building is enclosed/sales floor slab is placed last, General Contractor shall be responsible for monitoring sales floor exposure to excessive exhaust gases containing carbon dioxide (CO2) or carbon monoxide (CO).
B. Comply with requirements in ACI 301 for measuring, mixing, transporting, and placing concrete.
1. Install crushed stone base to the minimum compacted thickness as indicated on the construction documents.

3.03 FORMED SURFACE FINISHES

- A. Rough-Formed Finish: As-cast concrete texture imparted by form-facing material with tie holes and defective areas repaired and patched, and the other projections exceeding 1/4" in height shall be rubbed down or clipped off.
1. Apply to concrete surfaces not exposed to public view.
2. Smooth-Formed Finish: As-cast concrete texture imparted by form-facing material, arranged in an orderly and symmetrical manner with a minimum of seams. Repair and patch tie holes and defective areas. Completely remove fins and other projections.

- A. General: Unless otherwise noted by Owner, concrete sales floor slab shall be cast in one continuous placement. Concrete shall be placed, screeded, re-straightened, and finished as necessary to meet the FF and FL tolerance requirements.
1. Laser screeds (required), vibratory screeds, highway straightedges and wood or resinous bull floats shall be used to initiate screeding process to form a uniform and open-textured surface plane before excess moisture or bleed water appears on the surface.
2. Highway straightedge operations shall continue before, during and after troweling operation until the minimum specified tolerances are achieved.

3.04 CONCRETE FINISHES AND TOLERANCES

- A. General: Unless otherwise noted by Owner, concrete sales floor slab shall be cast in one continuous placement.
1. Laser screeds (required), vibratory screeds, highway straightedges and wood or resinous bull floats shall be used to initiate screeding process to form a uniform and open-textured surface plane before excess moisture or bleed water appears on the surface.
2. Highway straightedge operations shall continue before, during and after troweling operation until the minimum specified tolerances are achieved.
3. Trowel finish with trowel machine equipped with adjustable blades. Trowel the surface sufficiently to produce a smooth, tight, abrasion resistant surface.

3.05 CAST-IN-PLACE CONCRETE JOINTS

- A. General: Joints shall be cut as indicated on Drawings, and as soon as the slab will support the weight of the saw and operator and when cutting action will not tear, abrade or otherwise damage the concrete surface.
1. Construction Joints:
a. Construction joints shall be true to line with faces perpendicular to surface plane of concrete (refer to drawings), so as not to impair strength or appearance of concrete.
b. Construction joints in slab on grade shall be butt joints with square plate dowels. Do not use metal keyways.

3.06 INTERIOR SALES FLOOR PROTECTION AND CURING

- A. Protection: Protect freshly placed concrete from premature drying and excessive cold or hot temperatures.
1. General contractor to submit to Tractor Supply a site specific slab protection plan prior to start of any work being performed on floor surfaces planned for the polished concrete floor finish.
2. General contractor to protect concrete slab as required below for all polished concrete areas:
a. Do not allow vehicles and prohibit parking of vehicles on concrete slab.
b. Do not allow construction materials, equipment or tools on unprotected floor.

- p. Provide non-marking tires on rubber tired vehicles or equip rubber tires with tire boots made of nylon fabric.
q. Provide mats at all entrances to prevent mud stains.
C. Interior Concrete Curing: The interior sales floor slab shall be cured using the specified dissipating or removable liquid membrane-forming curing compound.
D. Exterior Concrete Curing: All exterior concrete slabs shall be cured using the specified liquid membrane-forming curing compound.

3.07 INTERIOR CONCRETE JOINT FILLER, LIQUID DENSIFIER / SEALER AND POLISHING PROCESS

- A. General: Do not commence installation of semi-rigid polymer joint filler, liquid densifier / sealer and polishing processes until the building is completely enclosed, permanent power and lighting is operating and the building is thermostatically controlled.
B. Mechanically grind and polish floor surface with a 400 grit resin diamond followed by 800 grit diamond pad burnish for a mild level gloss.
C. URETHANE EXPANSION JOINT SEALANT APPLICATION - EXTERIOR BUILDING ONLY (NOT AT FLOOR SLAB)

- 1. Apply joint sealants in accordance with manufacturer's written instructions.
2. Back-up material:
a. Install appropriate size backer rod, larger than the joint where necessary per manufacturer's recommendations and in a manner to provide concave sealant profile.
b. Where joint depth does not permit installation of backer rod, install adhesive-backed polyethylene bond-breaker tape along the entire back of joint to prevent 3-sided adhesion of joint sealant.
3. Sealant: Verify that the temperature and moisture conditions are within manufacturer's acceptable limits.
4. Using clean, dry tool with rounded edge and of appropriate width for each joint, tool freshly installed sealant to provide preferred concave profile.



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FUSION / SIDE LOT COMBO PROJECT STORE #7764 507 S MAIN ST FARMVILLE, VA 23001

Project No: 1004 Drawn By:

Date: 3-9-21 Title: DD / PERMIT

UNLESS OTHERWISE NOTED BY TSC, CONCRETE FLOOR SLAB SHALL BE CAST AS ONE CONTINUOUS POUR. CONTRACTOR SHALL PROVIDE TERMITE PROTECTION. APPLY TERMITICIDE TO SUB-BASE BEFORE CONCRETE IS POURED. PROVIDE ONE GALLON OF DILUTED TERMITICIDE PER 10 SQUARE FEET OF SLAB AREA. APPLY AN ADDITIONAL 2-4 GALLONS PER 10 LINEAR FEET AT THE FOUNDATION PERIMETER.

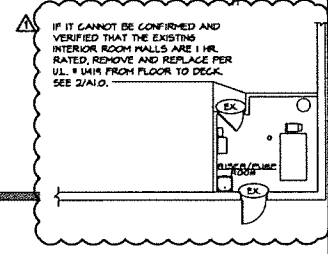
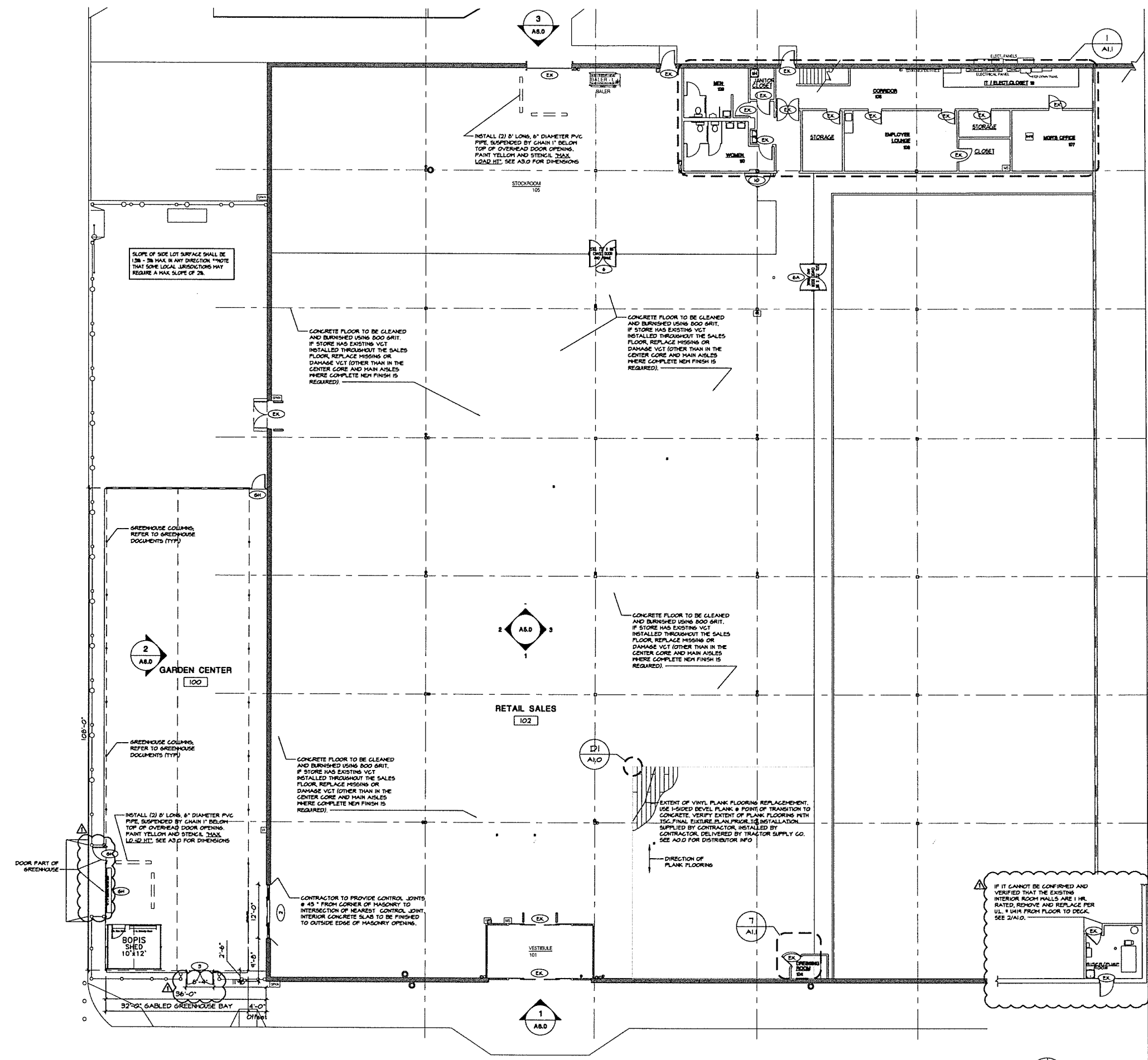
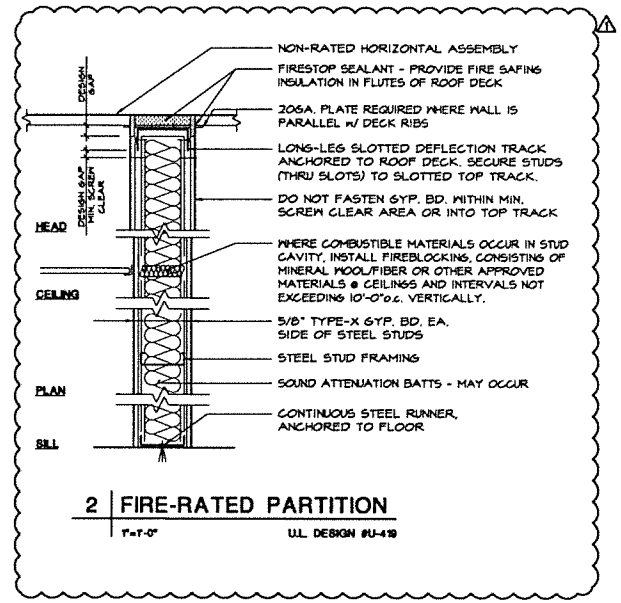
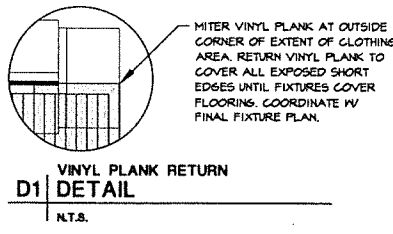
NOTE: THIS SPEC IS WRITTEN AROUND ASTM STANDARDS. GENERAL CONTRACTOR AND DEVELOPER SHALL BE RESPONSIBLE FOR OVERALL QUALITY OF PRODUCTS SELECTED AND WORKMANSHIP OF SLAB.

ARCHITECT AND CONTRACTOR TO PAY SPECIAL ATTENTION TO ACHIEVE DESIGN THAT PREVENTS THE CONCRETE FROM HEAVING AT ALL DOORWAYS ESPECIALLY IN COLD WEATHER LOCATIONS.

NOTE: FOR ASHED SLAB FINISH SHALL BE ROUGH BROOM.

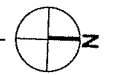
A0.2

CONCRETE SPECIFICATION



MATCH LINE
A1.0a

FLOOR PLAN
3/32" = 1'-0"



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25001 Emory Road, Suite 400
Cleveland, Ohio 44128
216.223.3200 onyxcreative.com

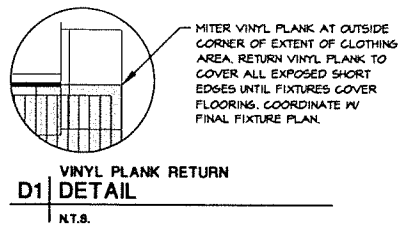


COMBO PROJECT
FUSION / SIDE LOT
STORE #784
1507 S MAIN ST
FARMVILLE, VA 23901

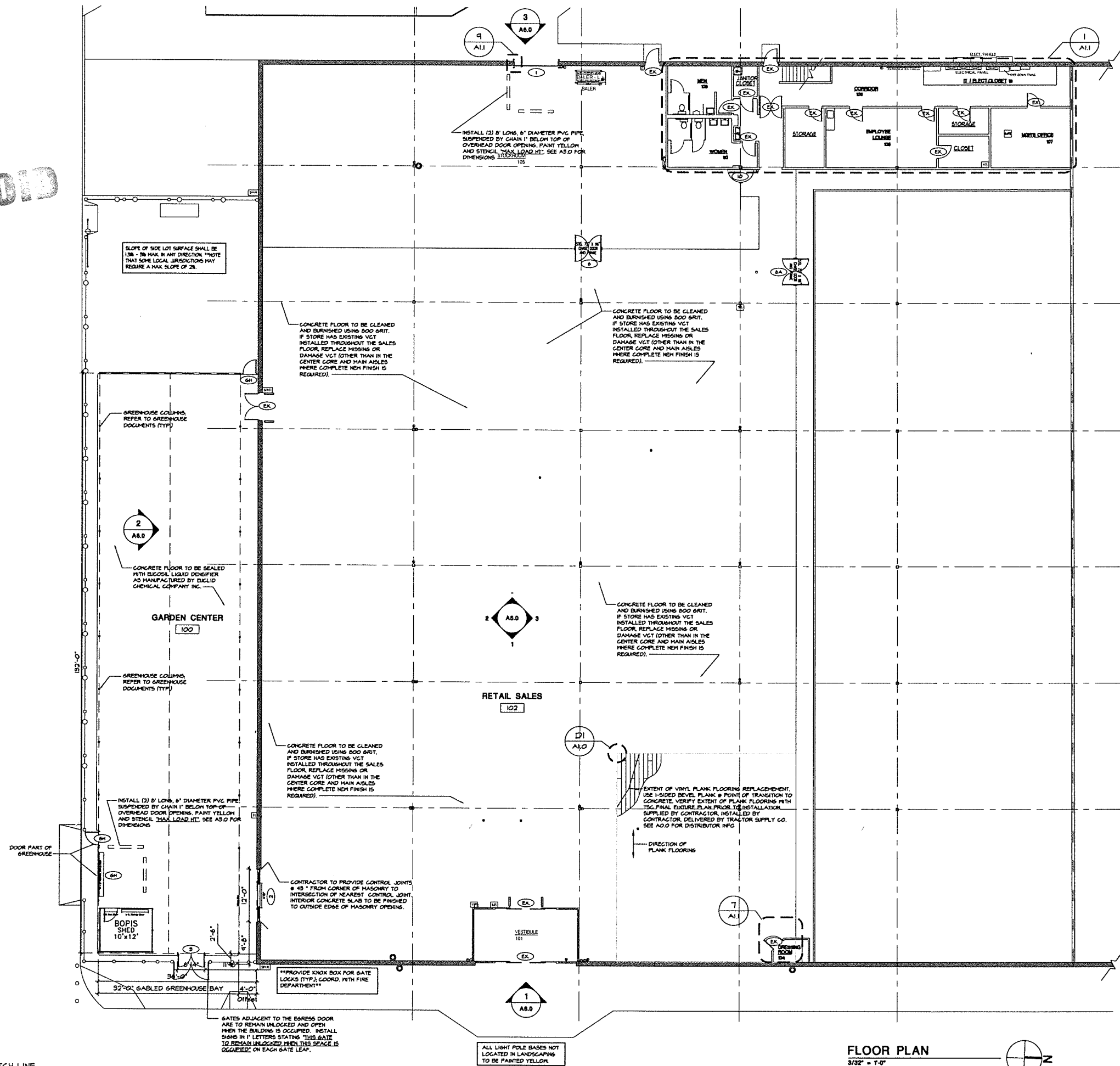
Project No.: 2804
Drawn By: EW
Date: 3-8-21
3-8-21 BID / PERMIT
2-2-22 REVISION 1

A1.0

FLOOR PLAN



VOID



MATCH LINE
A1.0a

FLOOR PLAN
3/32' = 1'-0"



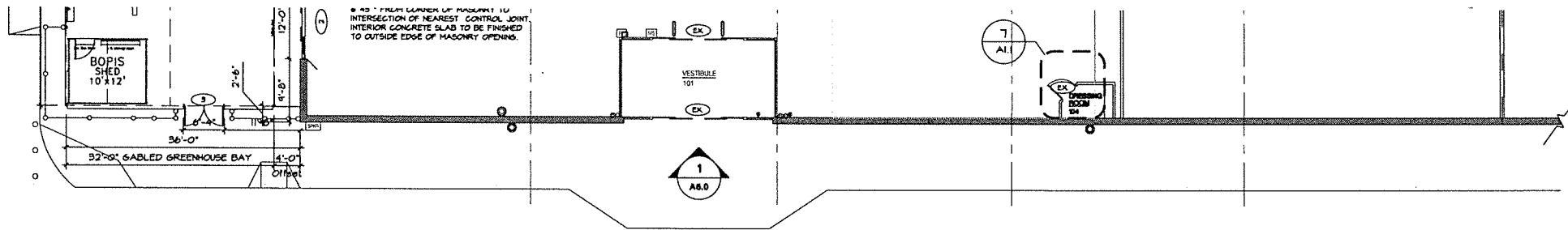
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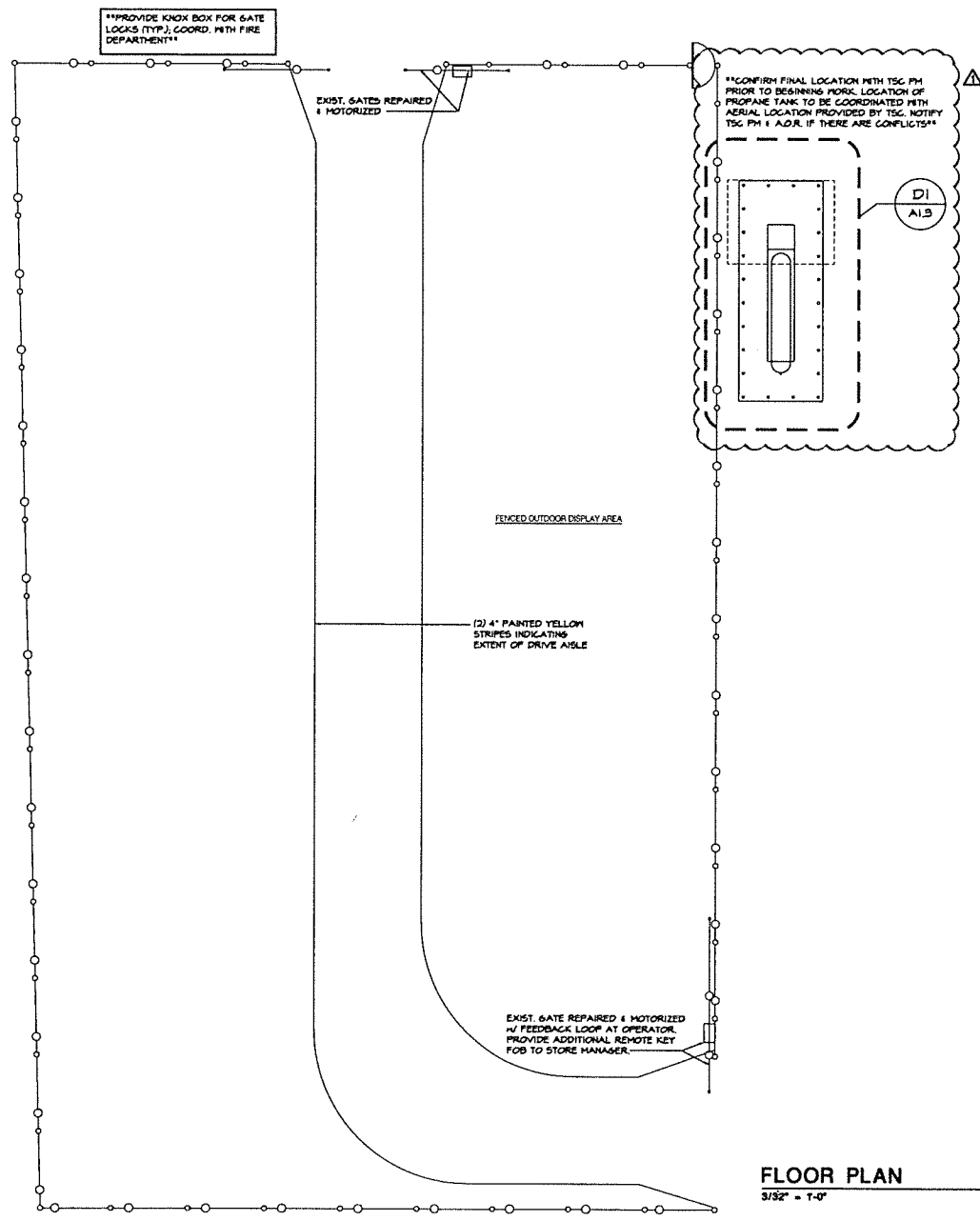
COMBO PROJECT
FUSION / SIDE LOT
STORE #784
1507 S MAIN ST
FARMVILLE, VA 23801

Project No: 1804
Drawn By: EW
Date: 3-9-21
180 / PERMIT

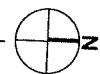
A1.0
FLOOR PLAN



MATCH LINE
A1.0



FLOOR PLAN
3/32\"/>



OUTDOOR DISPLAY FIXTURE INSTALLATION GUIDELINES

1. VERIFY WITH THE STORE MANAGER THAT ALL RACKS ARE PROPERLY BUILT AND POSITIONED.
2. DRILL HOLES FOR ANCHOR. (NOTE: WE ARE TOLD THE HOLE IN FOOT OF THE RACK LEF IS 1/2\"/>

EXTERIOR PENETRATIONS:

FLASH, DRAFT-STOP AND INSULATE AROUND ALL PENETRATIONS INCLUDING, BUT NOT LIMITED TO: PLUMBING PIPES AND VENTS, ELECTRICAL WIRES AND CONDUITS, ELECTRICAL FIXTURES, OTHER MECHANICAL SERVICES, AND, IN SOME CASES, STRUCTURAL MEMBERS WITH A NON-DELETERIOUS ELASTOMERIC SEALANT, CAULK, FOAM, PAINT, ADHESIVE OR EFFECTIVE GASKET THROUGHOUT THE BUILDING ENCLOSURE. CHOOSE APPROPRIATE INFILL MATERIAL(S) AS REQUIRED. DO NOT EXCEED MANUFACTURERS PUBLISHED TOLERANCES FOR MAXIMUM OPENING SIZES TO INFILL. REFER TO ASTM C1193 FOR A STANDARD GUIDE FOR USE OF JOINT SEALANTS. **NO CLEAR SEALANTS.** PROVIDE EXPANSION JOINT SEALANT WHERE APPLICABLE. SEE DETAIL 12/A-5 AND DETAIL 13/A-5.

STANDARD CRITERIA PLAN FOR FORAGE SHED IF REQUIRED BY TSC

1. METAL EXTERIOR/ STRUCTURAL STEEL BUILDING UNLESS CODE REQUIRES OTHERWISE. EXTERIOR COLOR SHOULD MATCH THAT OF THE MAIN RETAIL BUILDING.
2. BUILDING DIMENSIONS SHOULD BE 50' WIDE BY 25' DEEP.
3. ROOF DECK SHOULD BE 1/4\"/>

CHAIN LINK FENCE SPECIFICATIONS:

1. FABRIC: 46\"/>

PARKING LOT PAINT SPECIFICATIONS - 15 MIL APPLICATION (0.015 INCH THICKNESS):

1. NEW PAVEMENT SURFACE TO CURE FOR A PERIOD OF NOT LESS THAN 14 DAYS BEFORE APPLICATION OF MARKING MATERIALS.
2. REMOVE ALL DIRT, GRAVEL, DEBRIS, VEGETATION, OR OTHER MISCELLANEOUS OBJECTS FROM THE SURFACE WITH A BROOM TRUCK OR EQUIVALENT RIGOROUS METHOD. PROVIDE A CLEAN, DUST-FREE AND COMPLETELY DRY SURFACE FOR PAINT APPLICATION. DO NOT APPLY PAINT OVER EXISTING TAPE MARKINGS.
3. CONFIRM & RECORD PROPER AIR AND SURFACE TEMPERATURES OF 55\"/>

STRIPING NOTE:

STRIPING ON CONCRETE SHOULD ALWAYS BE YELLOW AND WHITE ON ASPHALT.

NOTE:

FINAL FIXTURE PLAN TO BE DEVELOPED BY TSC. FIXTURES ARE SUPPLIED BY TSC AND INSTALLED BY TSC VENDOR.

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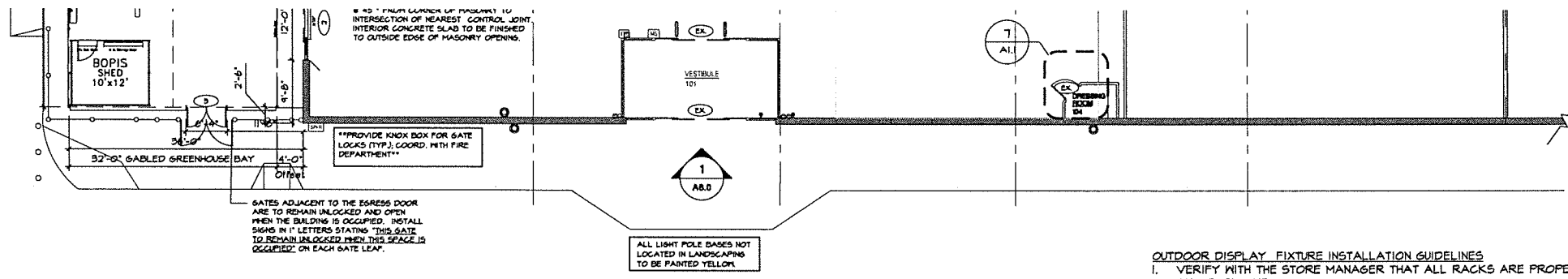


FUSION / SIDE LOT
COMBO PROJECT
STORE #784
1507 S MAIN ST
FARMVILLE, VA 23901

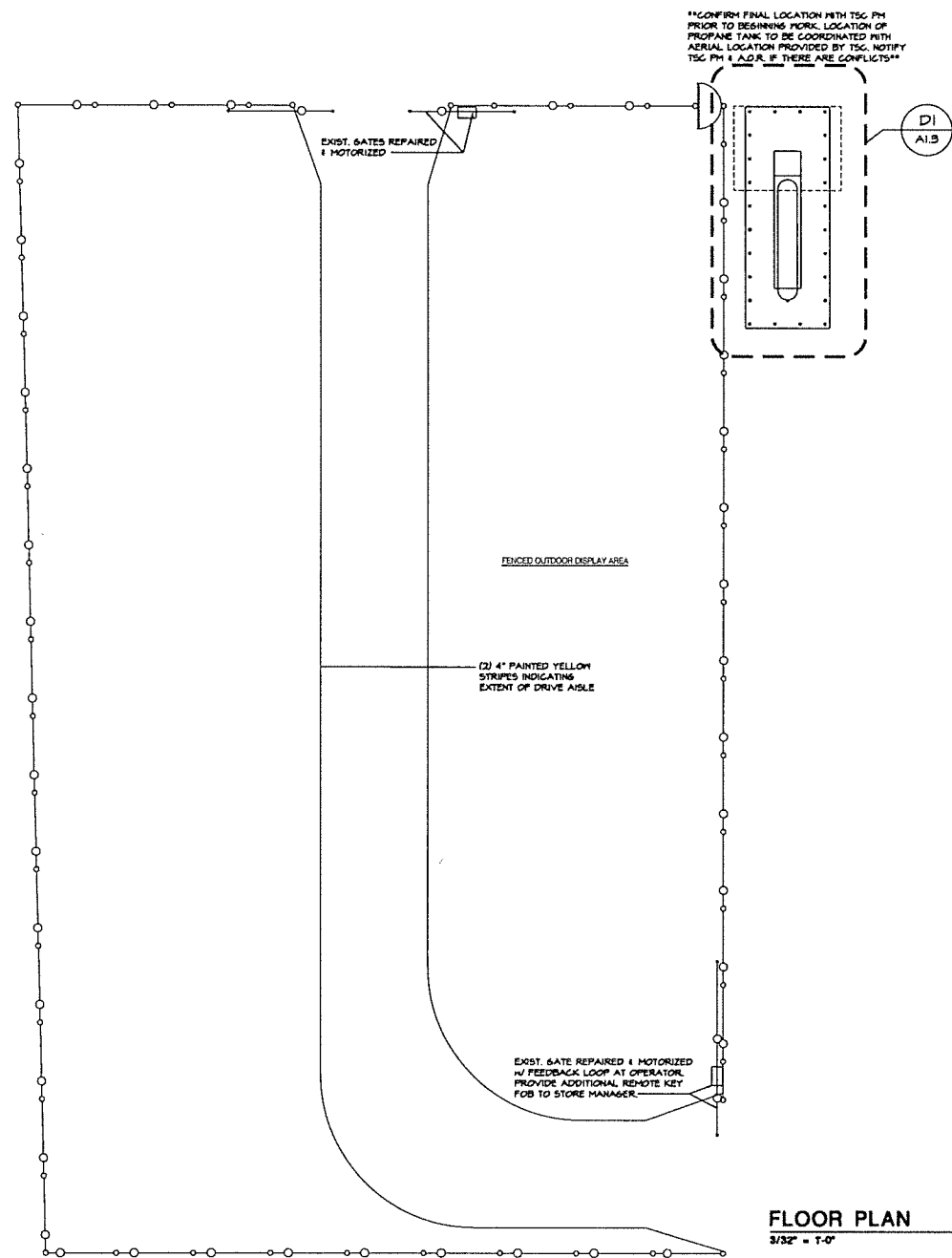
Project No.: 8894
Drawn By: EW
Date: 3-9-21
2-2-22 REVISION 1

A1.0a

EXTERIOR SPECIFICATIONS



MATCH LINE
A1.0



FLOOR PLAN
3/32" = 1'-0"

OUTDOOR DISPLAY FIXTURE INSTALLATION GUIDELINES

1. VERIFY WITH THE STORE MANAGER THAT ALL RACKS ARE PROPERLY BUILT AND POSITIONED.
2. DRILL HOLES FOR ANCHOR. (NOTE: WE ARE TOLD THE HOLE IN FOOT OF THE RACK LEF IS 1/2" HOWEVER IT MAY VARY. WE ALLOW THE GC TO DETERMINE BEST SIZE AND FIT IN THE FIELD).
3. BOLT DOWN WITH ANCHOR BOLTS PER MANUFACTURER'S SPECIFICATIONS.
4. SWEEP UP DRILLINGS AND ANY OTHER MATTER.

EXTERIOR PENETRATIONS:

FLASH, DRAFT-STOP AND INSULATE AROUND ALL PENETRATIONS INCLUDING, BUT NOT LIMITED TO: PLUMBING PIPES AND VENTS, ELECTRICAL WIRES AND CONDUITS, ELECTRICAL FIXTURES, OTHER MECHANICAL SERVICES, AND, IN SOME CASES, STRUCTURAL MEMBERS WITH A NON-DELETERIOUS ELASTOMERIC SEALANT, CAULK, FOAM, PAINT, ADHESIVE OR EFFECTIVE GASKET THROUGHOUT THE BUILDING ENCLOSURE. CHOOSE APPROPRIATE INFILL MATERIAL(S) AS REQUIRED. DO NOT EXCEED MANUFACTURERS PUBLISHED TOLERANCES FOR MAXIMUM OPENING SIZES TO INFILL. REFER TO ASTM C1193 FOR A STANDARD GUIDE FOR USE OF JOINT SEALANTS. **NO CLEAR SEALANTS.** PROVIDE EXPANSION JOINT SEALANT WHERE APPLICABLE. SEE DETAIL 12/A-5 AND DETAIL 13/A-5.

STANDARD CRITERIA PLAN FOR FORAGE SHED IF REQUIRED BY TSC:

1. METAL EXTERIOR STRUCTURAL STEEL BUILDING UNLESS CODE REQUIRES OTHERWISE. EXTERIOR COLOR SHOULD MATCH THAT OF THE MAIN RETAIL BUILDING.
2. BUILDING DIMENSIONS SHOULD BE 50' WIDE BY 25' DEEP.
3. ROOF DECK SHOULD BE 14'-4" A.F.F. AT THE LOWEST POINT. ROOF SHOULD SLOPE FROM FRONT TO REAR WITH GUTTERS AND DOWNSPOUTS MATCHING EXTERIOR COLOR.
4. FLOOR SURFACE OF EITHER BROOM-FINISHED CONCRETE OR AN EVEN UNBROKEN ASPHALT WITH ADEQUATE DRAINAGE AWAY FROM THE BUILDING. MUST BE ABLE TO WITHSTAND FORKLIFT USE AND ADEQUATE TO SUPPORT PRODUCT WEIGHT.
5. TWO 18'-0" WIDE x 12'-0" TALL DOOR OPENINGS. NO DOORS ARE REQUIRED UNLESS DIRECTED BY GOVERNING AUTHORITIES OR AS BY THE TSC CONSTRUCTION MANAGER.
6. USE OF EITHER BOLLARDS OR HIGHWAY RAILS AT ALL DOORS AND ON ALL CORNERS OF BUILDING EXPOSED TO FORKLIFT OR CUSTOMER TRAFFIC.
7. SEE DETAILS 1-5/A1.2

CHAIN LINK FENCE SPECIFICATIONS:

1. FABRIC: 96" x 9 GA. GALVANIZED (2" MESH) CHAIN LINK FABRIC.
2. TOP & BOTTOM RAIL: 1 5/8" O.D. FULL WEIGHT PIPE, 2.21 LBS. PER FOOT (MIN). TOP RAIL TO BE JOINED WITH 1 5/8" SLEEVE. BOTTOM RAIL @ 18" A.B.V. GRADE.
3. LINE POST: 2 1/2" O.D. FULL WEIGHT PIPE, 3.65 LBS. PER FOOT (MIN). LINE POST TO BE SET 10" ON CENTER MAX. SPACINGS. CONCRETE FOOTING TO BE 8" DIA. BY 30" DEEP CONC.
4. TERMINAL POST: 3" O.D. FULL WEIGHT PIPE, 5.74 LBS. PER FOOT (MIN). SET IN 8" DIA. BY 36" DEEP CONC. FOOTING.
5. GATE POST: 4" O.D. FULL WEIGHT PIPE, 9.10 LBS. PER FOOT (MIN). 8" DIA. 36" DEEP CONC. FOOTING.
6. GATES: (5-6): (4) 10 FOOT SWINGING CHAIN LINK GATES AND (1-2) 4 FOOT SWING GATE(S), WITH FRAMEWORK OF 1 5/8" FULL WEIGHT PIPE, 2.21 LBS. PER FOOT (MIN). GATES BRACED AND TRUSSED AS NECESSARY. SAME FABRIC AS FENCE. SEE PLAN FOR WIDTH.
- 6A. SWING GATES: DESIGN AS PER THE MANUFACTURERS DESIGN STANDARDS. GATES SHALL BE MANUALLY OPERATED SWINGING. MAXIMUM DISTANCE BETWEEN BOTTOM OF GATE AND FINISH GRADE TO BE 10".
7. TENSION WIRE: 7 GA. COIL SPRING GALVANIZED TENSION WIRE ATTACHED TO BOTTOM OF FENCE FABRIC WITH 9 GA. ALUM. HOG RING SPACED 24" ON CENTER.
8. FITTINGS: HEAVY BRACED BAND AND CARRIAGE BOLT, PRESSED STEEL RAIL-END, PRESSED STEEL LOOP CAP, PRESSED STEEL CAP, 1/4" x 3/4" TENSION BAR, HEAVY TENSION BAND AND CARRIAGE BOLT.
9. TIE WIRE: 8 1/4" 12 GA. STEEL TIE WIRE AND 6 1/2" 12 GA. STEEL WIRE SPACED 15" ON CENTER FOR LINE POST AND 24" ON CENTER FOR RAILS.
10. POST FOOTING: TRUCK POURED CONCRETE.
- II. SPECIFY A GATE LATCH WITH THE ABILITY TO ACCEPT A STANDARD PAD LOCK.

PARKING LOT PAINT SPECIFICATIONS - 15 MIL APPLICATION (0.015 INCH THICKNESS):

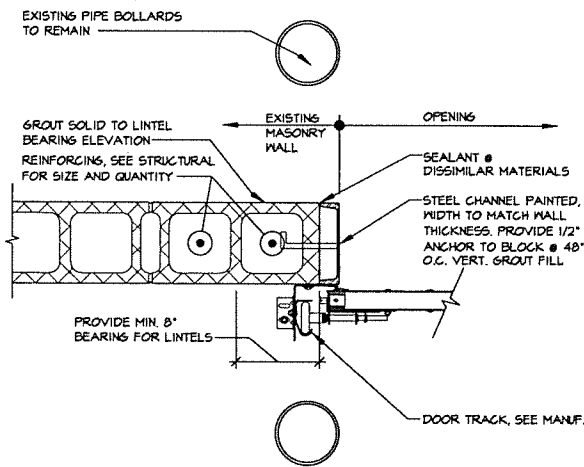
1. NEW PAVEMENT SURFACE TO CURE FOR A PERIOD OF NOT LESS THAN 14 DAYS BEFORE APPLICATION OF MARKING MATERIALS.
2. REMOVE ALL DIRT, GRAVEL, DEBRIS, VEGETATION, OR OTHER MISCELLANEOUS OBJECTS FROM THE SURFACE WITH A BROOM TRUCK OR EQUIVALENT RIGOROUS METHOD. PROVIDE A CLEAN, DUST-FREE AND COMPLETELY DRY SURFACE FOR PAINT APPLICATION. DO NOT APPLY PAINT OVER EXISTING TAPE MARKINGS.
3. CONFIRM & RECORD PROPER AIR AND SURFACE TEMPERATURES OF 55° AND RISING AND LESS THAN 95°. IF THE SURFACE TEMPERATURE IS NOT WITH THE TEMPERATURE RANGE OR IF THE PAINT APPLICATION IS DONE UNDER ADVERSE CONDITIONS (AS DETERMINED BY THE CONSTRUCTION PROJECT MANAGER) SUCH AS ABOVE 75% HUMIDITY, NIGHT STRIPING, ETC. IN ORDER TO MEET TSC OPENING SCHEDULE, CONTRACTOR TO RE-SCHEDULE AND COMPLETE SURFACE STRIPING UNDER PROPER CONDITIONS A MINIMUM OF 30 DAYS PRIOR TO THE EXPIRATION OF THE (1) ONE YEAR CONSTRUCTION WARRANTY.
4. PROVIDE A 15 MIL THICK 4" WIDE CONTINUOUS STRIPE WHERE AND IN THE COLOR INDICATED. MINIMUM OF (2) TWO COATS.
5. PROVIDE PRIMER AND SEALER TO BE APPLIED PER THE MANUFACTURER'S RECOMMENDATIONS ON ALL CONCRETE SURFACES AND ON ASPHALT SURFACES THAT ARE MORE THAN TWO YEARS OLD, OXIDIZED AND/OR HAVE AGGREGATE EXPOSED.

STRIPING NOTE:
STRIPING ON CONCRETE SHOULD ALWAYS BE YELLOW AND WHITE ON ASPHALT.

NOTE:
FINAL FIXTURE PLAN TO BE DEVELOPED BY TSC. FIXTURES ARE SUPPLIED BY TSC AND INSTALLED BY TSC VENDOR.

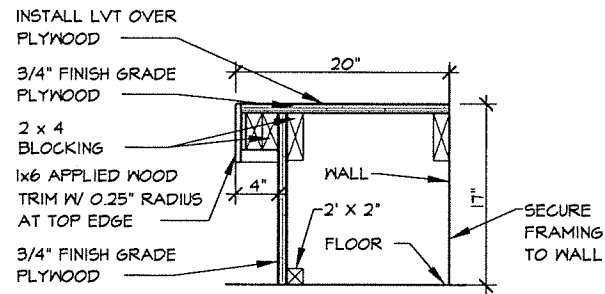


Project No: 18014
Drawn By:
Date: 3-9-21
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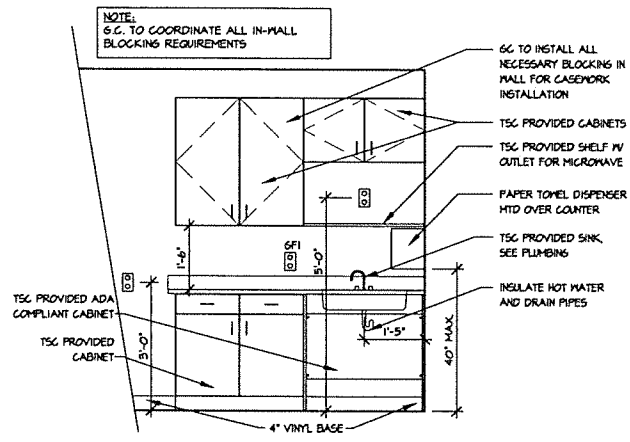


NOTE:
IF EXISTING BOLLARDS ARE PRESENT AT EXISTING OVERHEAD DOOR, VERIFY WITH STORE MANAGER IF THEY CAN REMAIN. IF THEY ARE EXISTING TO REMAIN, THEY ARE TO RECEIVE A NEW BOLLARD COVER NOTED BELOW.

8 | DETAIL
1/2"=1'-0"



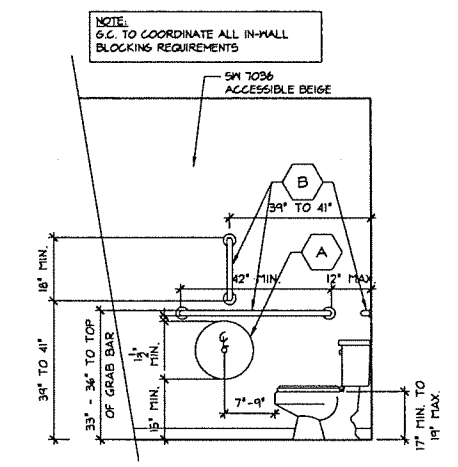
8 | DETAIL
1/2"=1'-0"



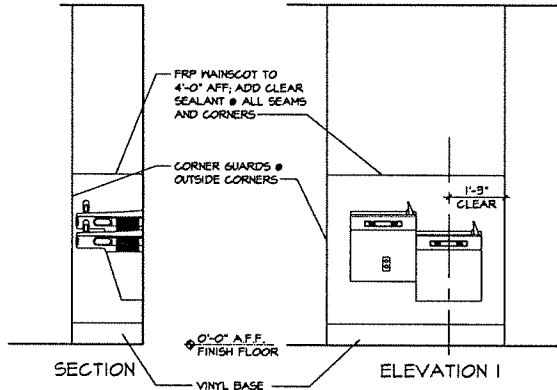
6 | BREAK ROOM COUNTER ELEVATION
1/2"=1'-0"

TOILET ROOM ACCESSORIES				
TAG	DESCRIPTION	MANUFACTURER #	MODEL	REMARKS
A	TOILET PAPER DISPENSER	F.B.O. I.B.C.		
B	ACCESSIBLE GRAB BARS (WATER CLOSETS) SIDE	BRADLEY	8520-001-42	MOUNT 33"-36" A.F.F. TO TOP, MAX
	ACCESSIBLE GRAB BARS (WATER CLOSETS) BACK	BRADLEY	8520-001-36	MOUNT 33"-36" A.F.F. TO TOP, MAX
	ACCESSIBLE GRAB BARS (WATER CLOSETS) VERT.	BRADLEY	8520-001-15	MOUNT 34"-41" A.F.F. TO BOTTOM OF BAR
C	SOAP DISPENSER	F.B.O. I.B.C.		MOUNT 40" A.F.F. MAX TO CONTROL
D	16" X 36" STAINLESS STEEL PANEL	F.B.O. I.B.C.		40" TO TOP OF PANEL
E	MIRROR (1" POLISHED PLATE GLASS)	1 PIECE, 18" X 36"		MOUNT 40" A.F.F. TO BOTTOM OF REFLECTIVE SURFACE
F	PAPER TOWEL DISPENSER	F.B.O. I.B.C.		MOUNT 40" A.F.F. MAX TO CONTROL
G	SMARTDRY PLUS	WORLD DRYER	K-74P2	MOUNT 40" A.F.F. MAX TO BOTTOM

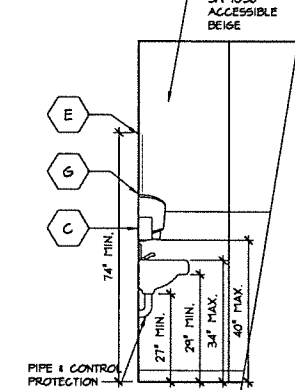
- GENERAL NOTES**
- TOILET ROOM ACCESSORIES TO BE INSTALLED BY G.C.
 - F.B.O. I.B.C. (FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
 - AUTOMATIC CONTROL
 - FRP TO 4'-0" A.F.F. ON ALL WALLS EXCEPT CHU UNLESS NOTED OTHERWISE
 - ALL PLUMBING FIXTURES TO BE ANCHORED PER ALL ANCHOR POINTS.
 - PROVIDE CEILING BATT INSULATION FOR RESTROOMS.
 - NO ITEMS SHALL BE LOCATED FROM FLOOR TO CEILING WITHIN 18" OF THE EDGE OF THE FULL SIDE OF THE BATHROOM DOORS.



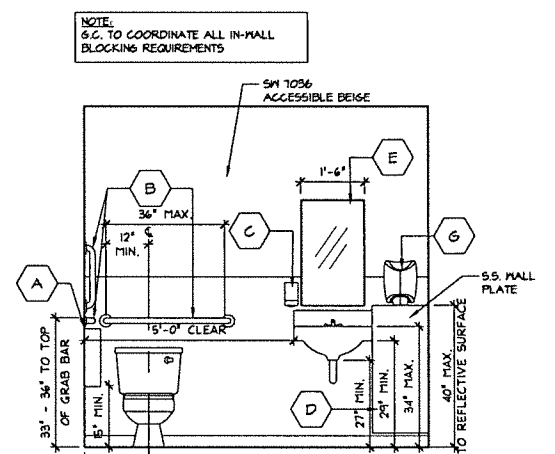
3 | RESTROOMS ELEVATION
1/2"=1'-0"



5 | DRINKING FOUNTAIN ELEVATION
1/2"=1'-0"

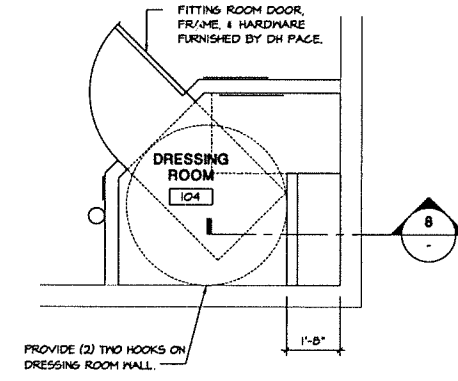


4 | RESTROOMS ELEVATION
1/2"=1'-0"

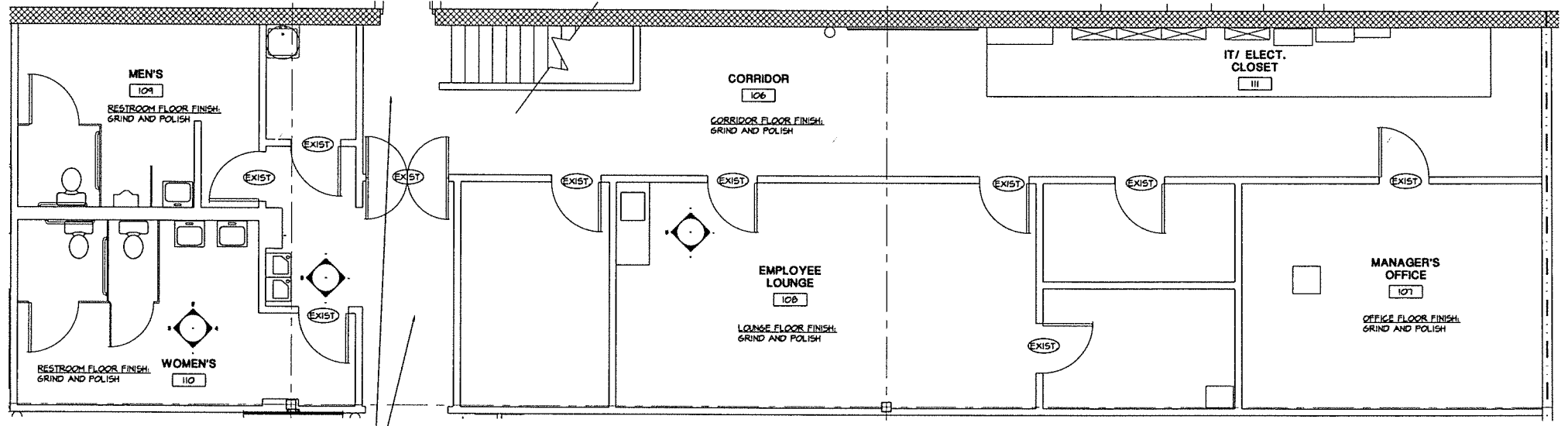


2 | RESTROOMS ELEVATION
1/2"=1'-0"

NOTE: CONTRACTOR TO REMODEL DRESSING ROOM @ FRONT OF BUILDING ON RIGHT SIDE. G.C. TO COVER EXISTING BENCH WITH LVT TO MATCH NEW CLOTHING DEPARTMENT FLOORING OR BUILD ADA COMPLIANT BENCH PER PLANS BELOW.



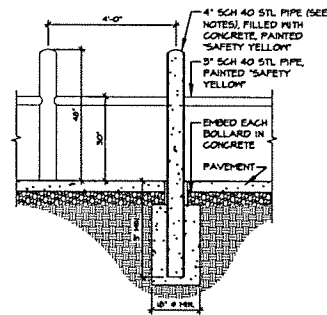
7 | DRESSING ROOM ENLARGED PLAN
3/8"=1'-0"



IF STORE HAS EXISTING V.C.T. ON THE SALES FLOOR AND THERE IS NOT A DOOR TO THE OFFICE/RESTROOM CORRIDOR, V.C.T. SHALL REMAIN IN CORRIDOR - REPLACE MISSING OR DAMAGED TILES.

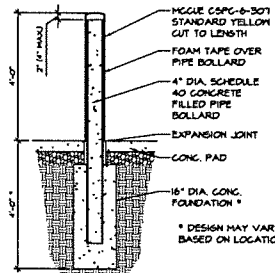
COORDINATE WITH TSC PM EXTENT OF WORK REQUIRED IN OFFICE CORE INCLUDING ROOM LAYOUTS AND FINISHES, NEW RESTROOM FIXTURES WITH HANDS-FREE HARDWARE, AND BREAK ROOM FIXTURES

1 | OFFICE CORE ENLARGED PLAN
1/4"=1'-0"



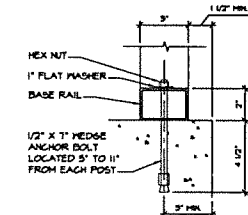
D9 TX BOLLARD W/ GUARDRAIL BOLLARD DETAIL

N.T.S.



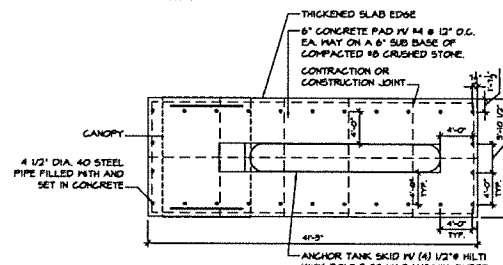
D8 TYPICAL BOLLARD DETAIL

N.T.S.



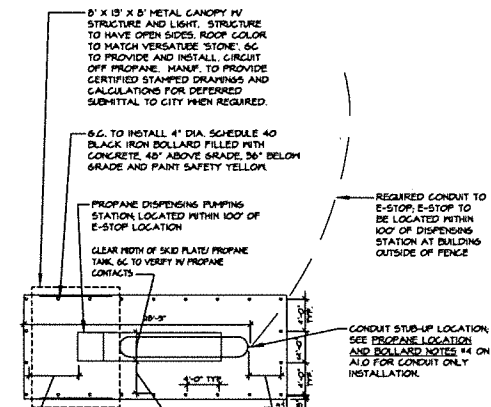
D7 CONNECTION TO CONCRETE CANOPY DETAIL

N.T.S.



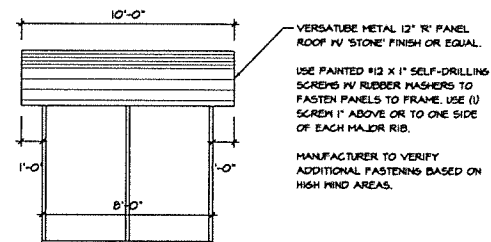
D7 1980 GAL TANK PROPANE TANK

N.T.S.



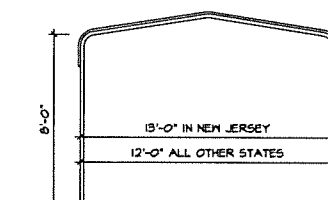
D1 TYPICAL DETAILS PROPANE TANK

N.T.S.



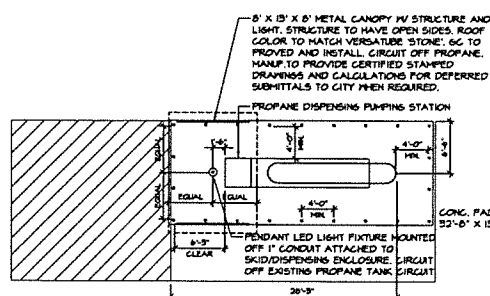
D5 SIDE CANOPY ELEVATION

N.T.S.



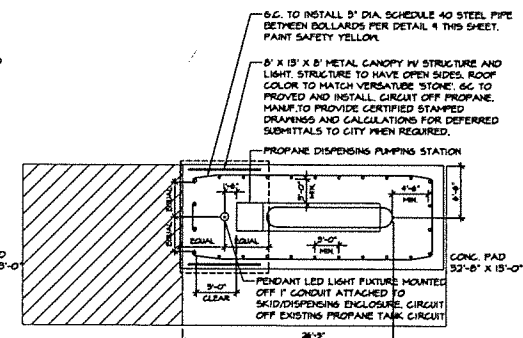
D4 FRONT CANOPY ELEVATION

N.T.S.



D3 NEW JERSEY LAYOUT PROPANE PLAN

N.T.S.



D2 TEXAS LAYOUT PROPANE PLAN

N.T.S.

PROPANE RESPONSIBILITY NOTES:

- IF PROPANE TANK IS DELIVERED BEFORE FIXTURE DATE:
1. GENERAL CONTRACTOR IS RESPONSIBLE FOR INFRASTRUCTURE RELATED TO PROPANE TANK INSTALLATION.
 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL PERMITTING AND FINAL CONNECTION TO PUMP DISPENSING CONTROL PANEL.
 3. AMERIGAS OR OTHER SPECIFIED PROPANE PROVIDER IS RESPONSIBLE FOR GAS PERMITTING OF THE TANK.
 4. AMERIGAS OR OTHER SPECIFIED PROPANE PROVIDER IS RESPONSIBLE FOR INSTALLATION AND FINAL GAS CONNECTION OF THE TANK.
 5. SEE ELECTRICAL SHEET E1B.0 FOR ADDITIONAL NOTES AND DETAILS.

IF PROPANE TANK IS DELIVERED AFTER FIXTURE DATE:

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR INFRASTRUCTURE RELATED TO PROPANE TANK INSTALLATION.
2. AMERIGAS OR OTHER SPECIFIED PROPANE PROVIDER IS RESPONSIBLE FOR ELECTRICAL PERMITTING AND FINAL CONNECTION TO PUMP DISPENSING CONTROL PANEL.
3. AMERIGAS OR OTHER SPECIFIED PROPANE PROVIDER IS RESPONSIBLE FOR GAS PERMITTING OF THE TANK.
4. AMERIGAS OR OTHER SPECIFIED PROPANE PROVIDER IS RESPONSIBLE FOR INSTALLATION AND FINAL GAS CONNECTION OF THE TANK.
5. SEE ELECTRICAL SHEET E1B.0 FOR ADDITIONAL NOTES AND DETAILS.

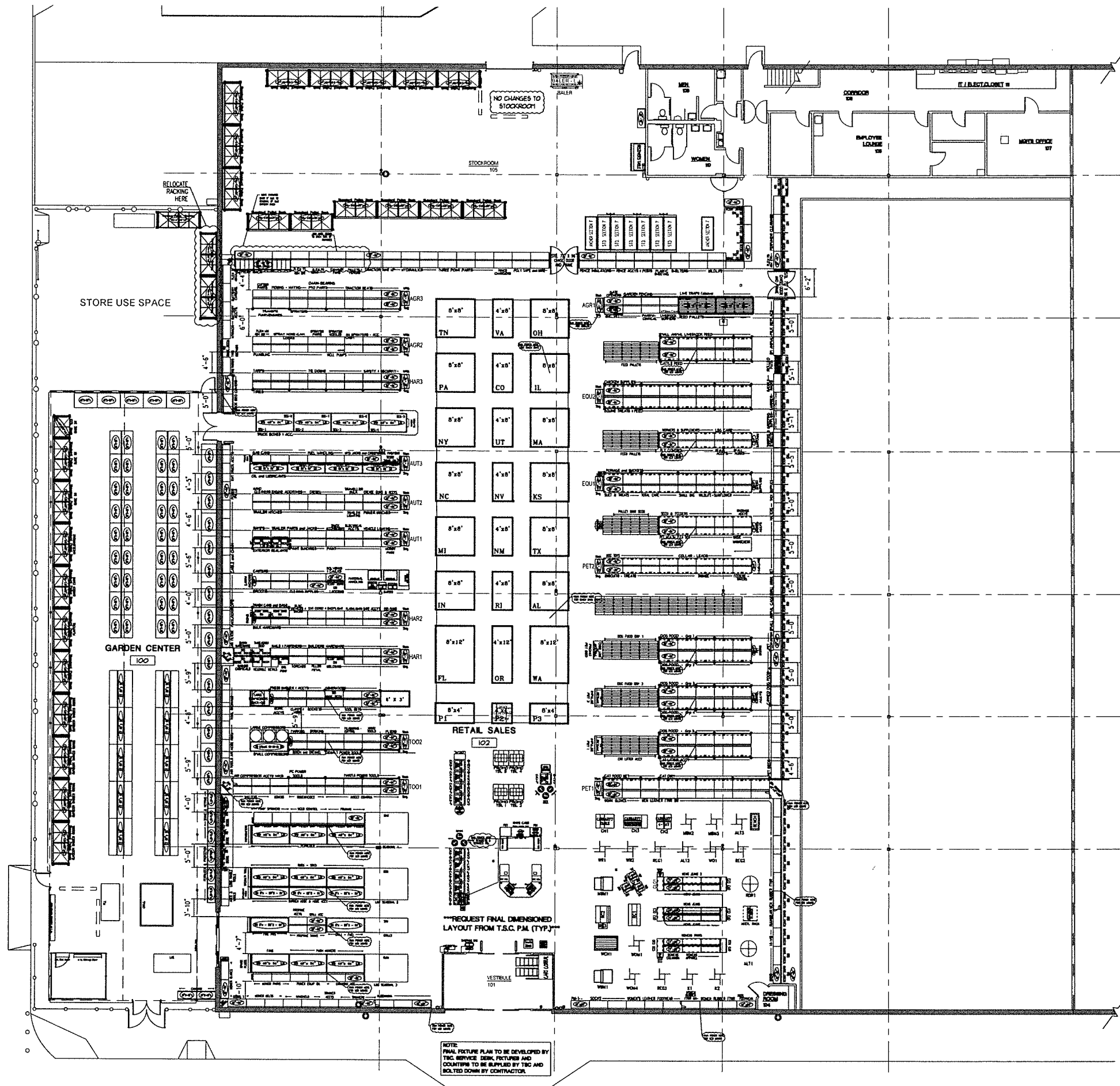
PROPANE LOCATION AND BOLLARD NOTES:

1. IF THERE IS NOT ENOUGH SPACE CLEAR FROM THE BUILDING, LOCATE TANK ON THE OTHER SIDE OF THE DRIVE ISLE IN THE SAME VERTICAL POSITION.
2. IN TEXAS, IN ADDITION TO BOLLARD PROTECTION REQUIREMENTS (3'-0" MAX. SPACING), GUARDRAIL TO BE INSTALLED WITH 2 POINTS OF EGRESS NO GREATER THAN 36".
3. IN FLORIDA, IN ADDITION TO BOLLARD PROTECTION (3'-0" MAX. SPACING), A 10' HALO IN ALL DIRECTIONS SHALL BE PROVIDED FROM THE POINT OF TRANSFER.
4. FOR CONDUIT ONLY INSTALLATION (PROPANE TANK INSTALLED AT A LATER DATE) PROVIDE BOLLARD COVER (GLOBAL INDUSTRIAL MODEL W6652899M) AND (4) FOUR BOLLARD COVER ANCHOR BOLTS (GLOBAL INDUSTRIAL W6652901) OVER CONDUIT STUB-UP. INSTALL EXPLOSION PROOF JUNCTION BOX VERTICALLY TO INSURE BOLLARD COVER FIT. SEE ELECTRICAL.

NOTE: GENERAL CONTRACTOR TO CONTACT PLAN EXPRESS FOR PROPANE TANK POWER-OPERATED DISPENSING DEVICE FOR LPG-GAS CUT-SHEET PDF DOCUMENT.

NOTE: GENERAL CONTRACTOR TO VERIFY LOCATION OF PROPANE TANK AND CONDUIT STUB-UP WITH THE TSC PROJECT MANAGER PRIOR TO CONDUIT INSTALLATION. GC TO CONTACT DCA PRIOR TO COMMENCEMENT OF WORK IN NEW JERSEY.

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MATCH LINE
A2.0a

FIXTURE PLAN
3/32" = 1'-0"



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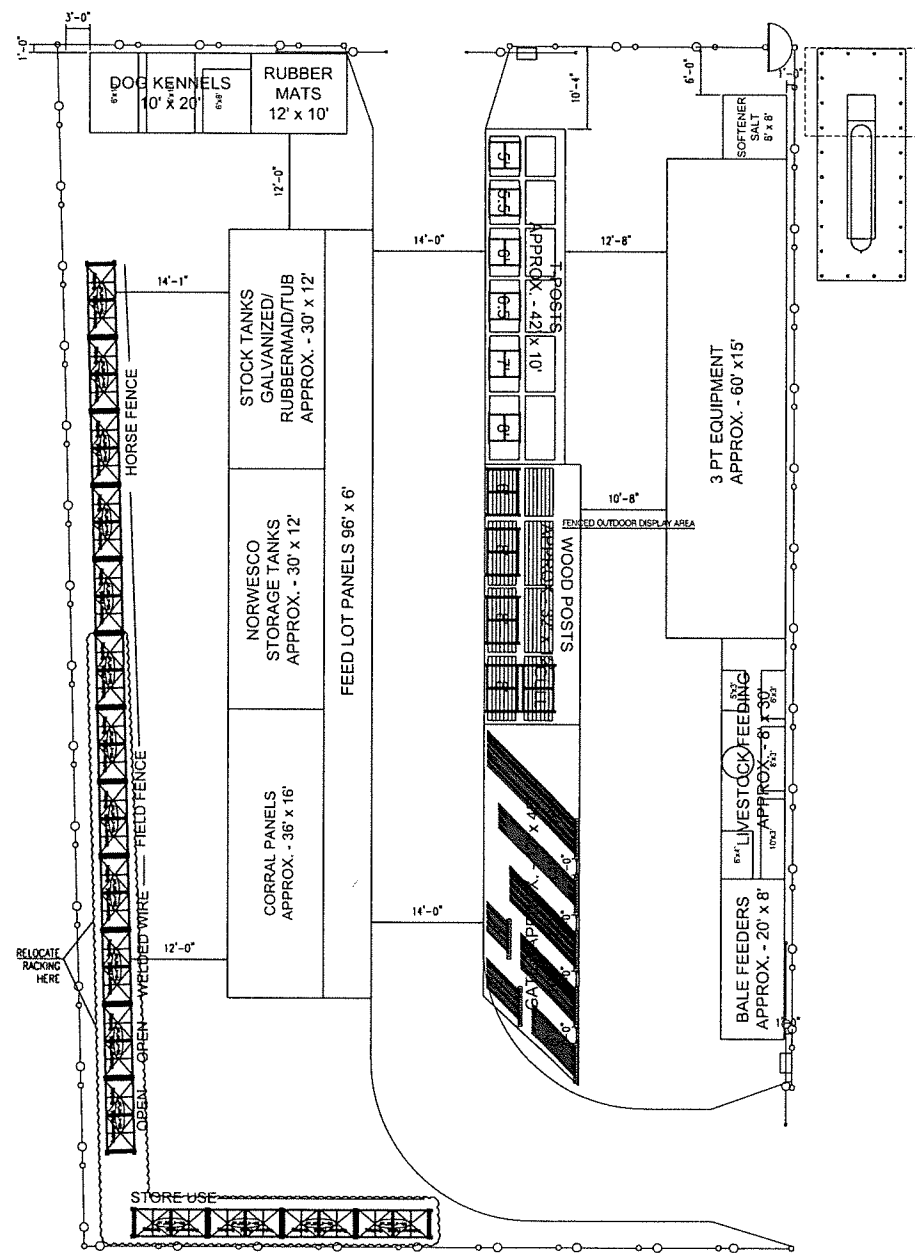


FUSION / SIDE LOT
COMBO PROJECT
STORE #784
1507 S MAIN ST
FARMVILLE, VA 23801

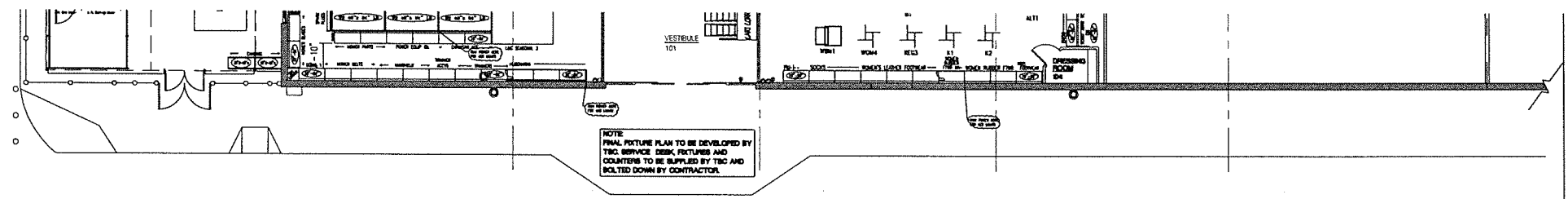
Project No.: 8894
Drawn By:
Date: 3-9-21
RD / PERMIT

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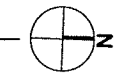
FIXTURE PLAN



MATCH LINE
A2.0a



FIXTURE PLAN
3/32" = 1'-0"



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FUSION / SIDE LOT
COMBO PROJECT

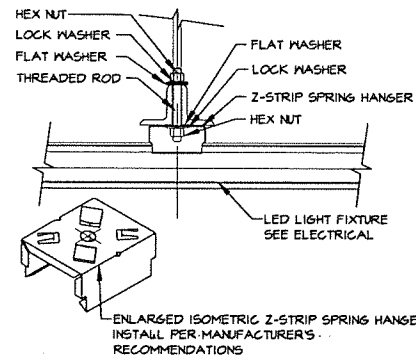
STORE #784
1507 S MAIN ST
FARMVILLE, VA 23801

Project No: 8804
Drawn By:
Date: 3-8-21
Title: RD / PERMIT

A2.0

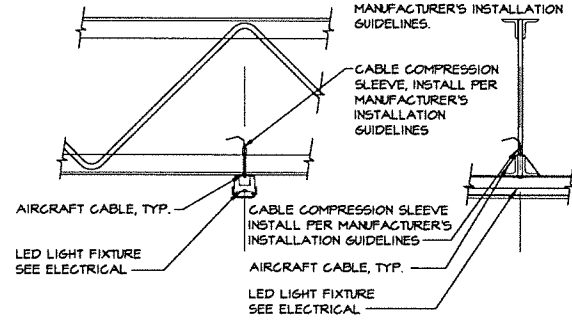
FIXTURE PLAN

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25001 Emery Road, Suite 400
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LIGHTS IN GREENHOUSE AREA
1 Z-STRIP SPRING HANGER
 1/12" = 1'-0"

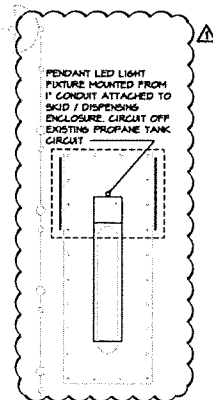
NOTE: SECURE PER LIGHT MANUFACTURER'S INSTALLATION GUIDELINES. FOR CONTINUOUS ROOM MOUNTING, UTILIZE END PLATE COUPLER PER LIGHT MANUFACTURER'S INSTALLATION GUIDELINES.



LIGHTS IN GREENHOUSE AREA
2 ALTERNATE ATTACHMENT DTL.
 3/4" = 1'-0"

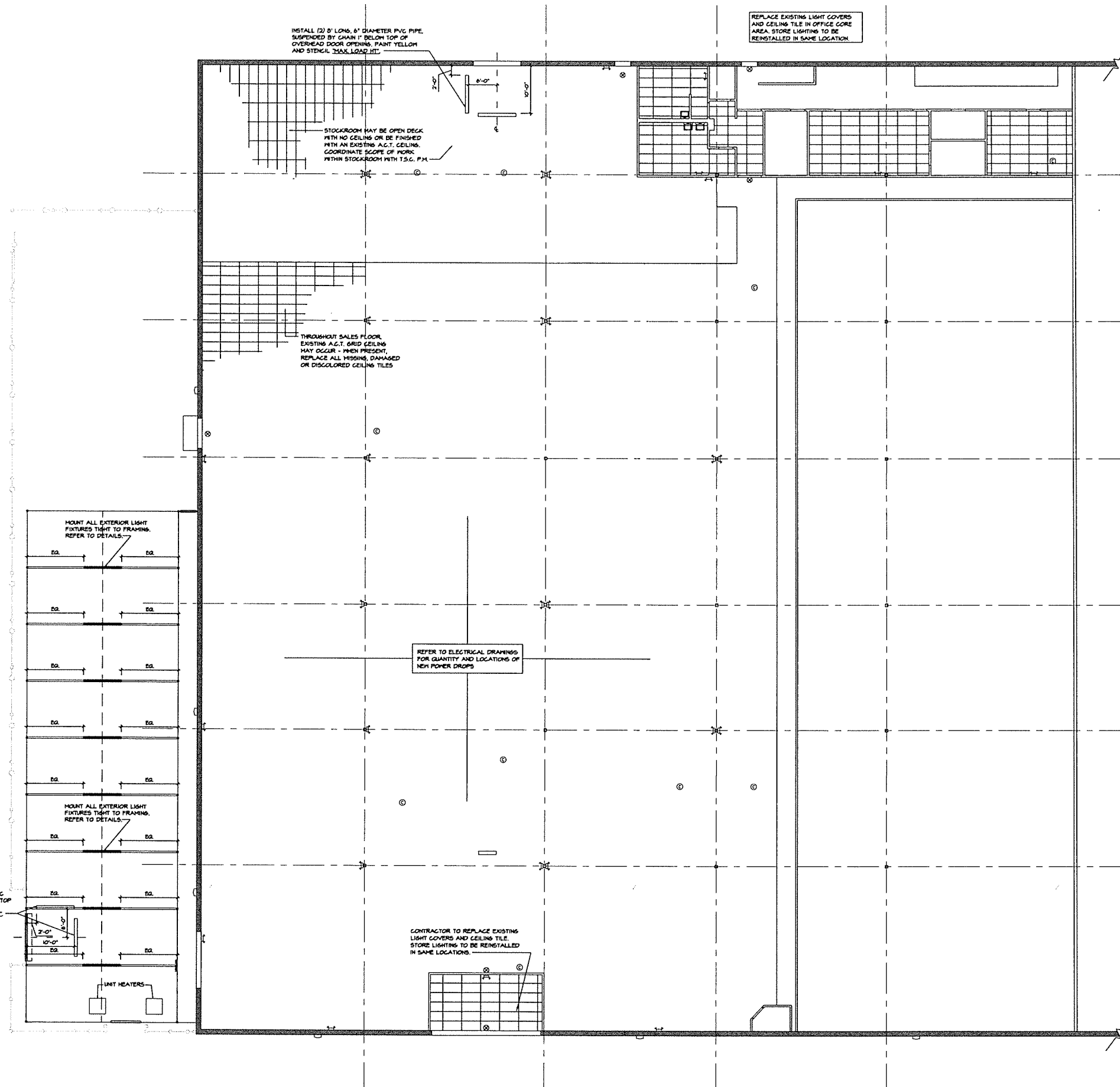
CEILING LEGEND

- 8' LED LIGHT FIXTURE INSTALLED TIGHT TO GREENHOUSE FRAMING
- LED PENDANT FIXTURE - AT PROPANE ENCLOSURE



PROPANE TANK
REFLECTED CEILING PLAN
 3/32" = 1'-0"

INSTALL (2) 8' LONG, 6" DIAMETER PVC PIPE, SUSPENDED BY CHAIN 1" BELOW TOP OF OVERHEAD DOOR OPENING, PAINT YELLOW AND STENCIL 'MAX LOAD 100'



REPLACE EXISTING LIGHT COVERS AND CEILING TILE IN OFFICE CORE AREA. STORE LIGHTING TO BE REINSTALLED IN SAME LOCATION.

INSTALL (2) 8' LONG, 6" DIAMETER PVC PIPE, SUSPENDED BY CHAIN 1" BELOW TOP OF OVERHEAD DOOR OPENING, PAINT YELLOW AND STENCIL 'MAX LOAD 100'

STOCKROOM MAY BE OPEN DECK WITH NO CEILING OR BE FINISHED WITH AN EXISTING A.C.T. CEILING. COORDINATE SCOPE OF WORK WITH STOCKROOM WITH T.S.C. P.H.

THROUGHOUT SALES FLOOR, EXISTING A.C.T. GRID CEILING MAY OCCUR - WHEN PRESENT, REPLACE ALL MISSING, DAMAGED OR DISCOLORED CEILING TILES

REFER TO ELECTRICAL DRAWINGS FOR QUANTITY AND LOCATIONS OF NEW POWER DROPS

CONTRACTOR TO REPLACE EXISTING LIGHT COVERS AND CEILING TILE. STORE LIGHTING TO BE REINSTALLED IN SAME LOCATIONS.

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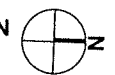


COMBO PROJECT
 FUSION / SIDE LOT
 STORE #784
 1507 S MAIN ST
 FARMVILLE, VA 23801

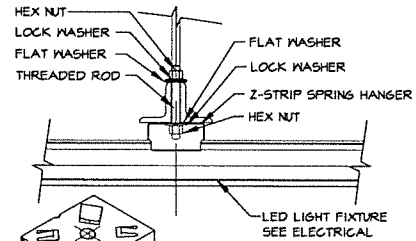
Project No:	8854
Drawn By:	EW
Date:	3-9-21
Issue:	RD / PERMIT
2-2-22	REVISION 1

A3.0

REFLECTED CEILING PLAN
 3/32" = 1'-0"



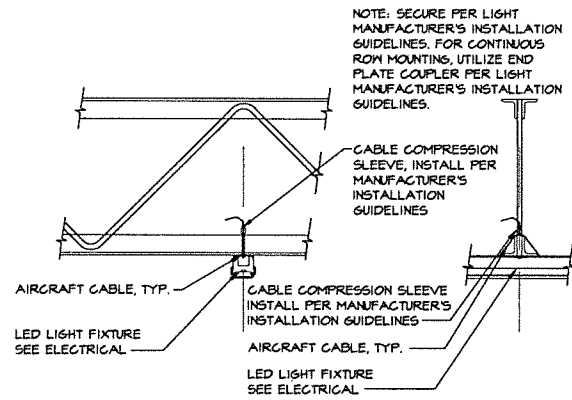
CEILING PLAN



ENLARGED ISOMETRIC Z-STRIP SPRING HANGER
INSTALL PER MANUFACTURER'S
RECOMMENDATIONS

LIGHTS IN GREENHOUSE AREA
1 | Z-STRIP SPRING HANGER

3/16" = 1'-0"



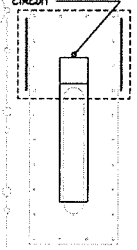
LIGHTS IN GREENHOUSE AREA
2 | ALTERNATE ATTACHMENT DTL.

3/4" = 1'-0"

CEILING LEGEND

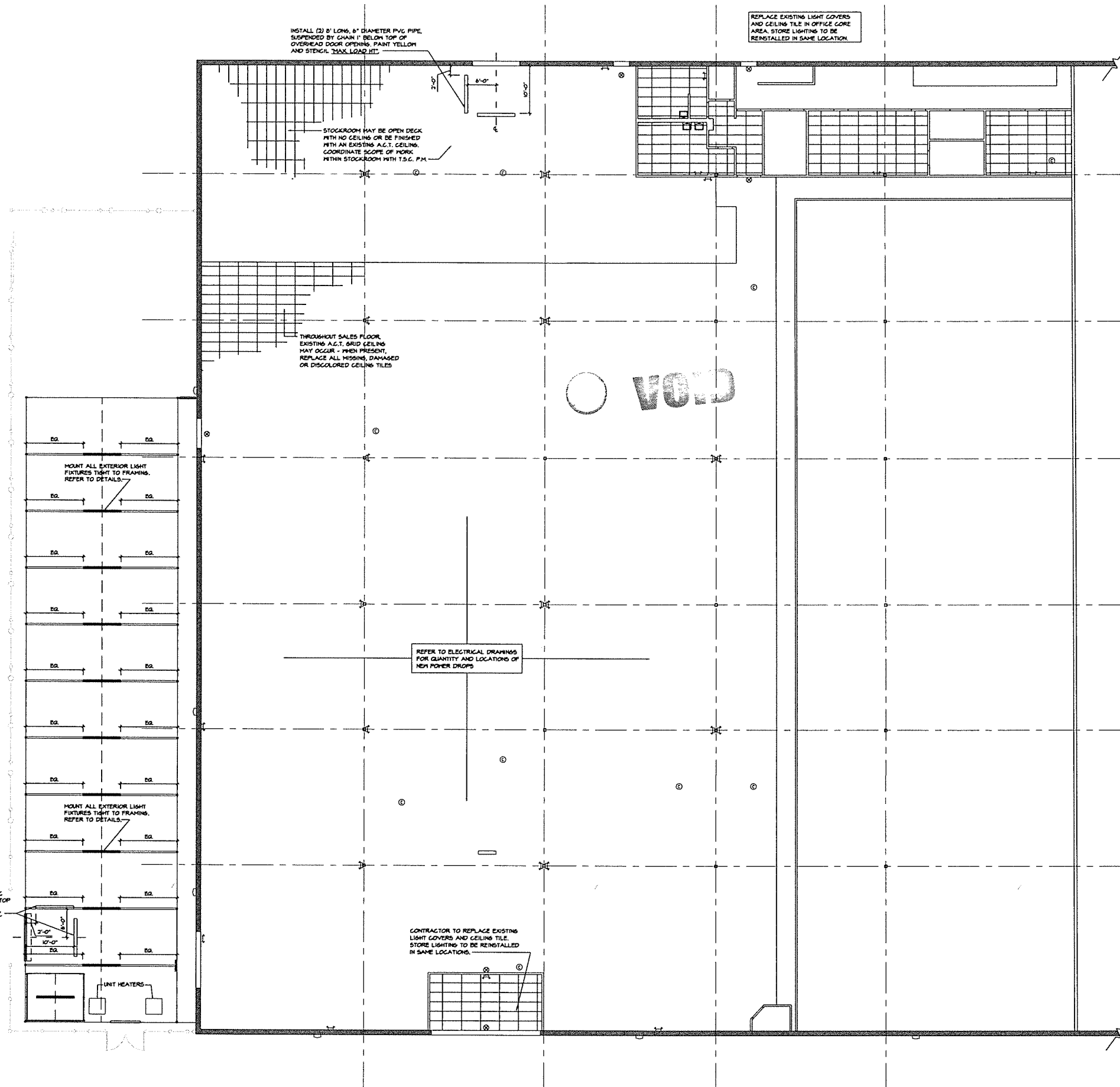
- 8' LED LIGHT FIXTURE INSTALLED TIGHT TO GREENHOUSE FRAMING
- LED PENDANT FIXTURE - AT PROPANE ENCLOSURE

PENDANT LED LIGHT FIXTURE MOUNTED FROM 1" CONDUIT ATTACHED TO SKID / DISPENSING ENCLOSURE. CIRCUIT OFF EXISTING PROPANE TANK CIRCUIT

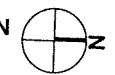


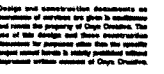
INSTALL (2) 8' LONG, 6" DIAMETER PVC PIPE, SUSPENDED BY CHAIN 1" BELOW TOP OF OVERHEAD DOOR OPENING. PAINT YELLOW AND STENCIL 'MAX LOAD HIT'

PROPANE TANK REFLECTED CEILING PLAN
3/32" = 1'-0"



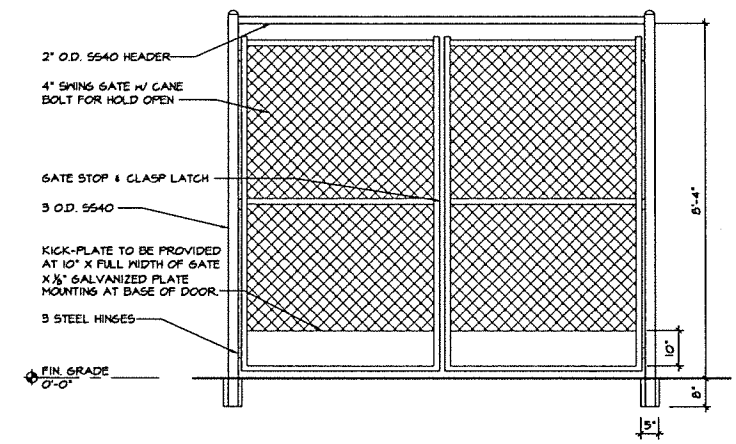
REFLECTED CEILING PLAN
3/32" = 1'-0"



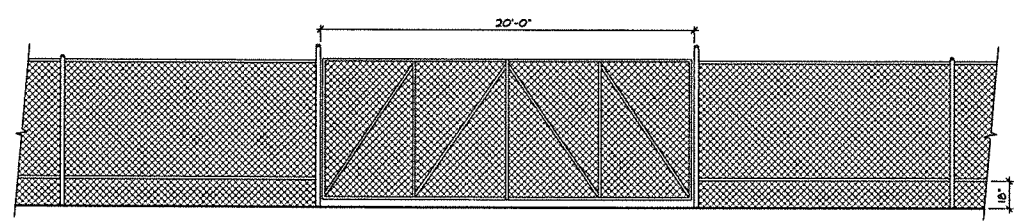


FUSION / SIDE LOT
COMBO PROJECT
 STORE #784
 1507 S MAIN ST
 FARMVILLE, VA 23801

Project No: 884
 Drawn By:
 Date: 3-8-21
 Issue: 00 / PERMIT

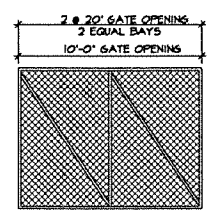


D3 SWING GATES
 DETAIL
 N.T.S.

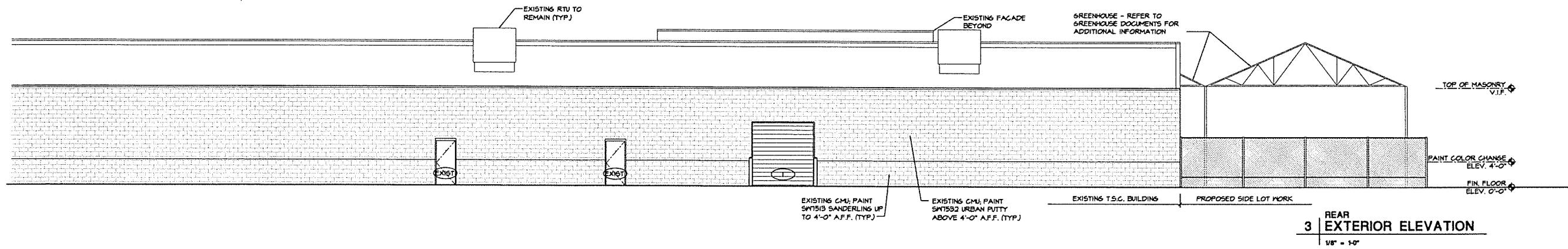
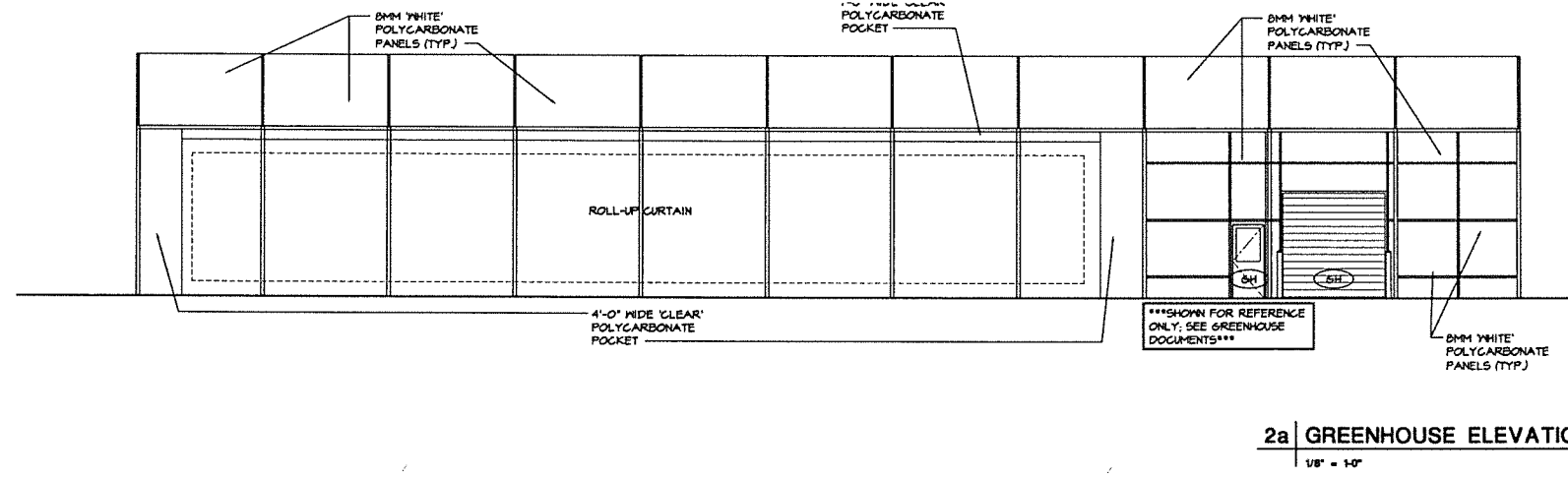
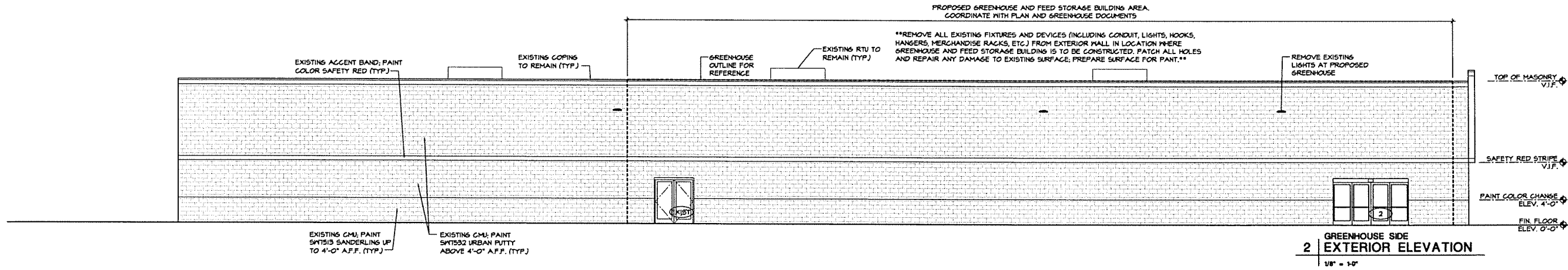
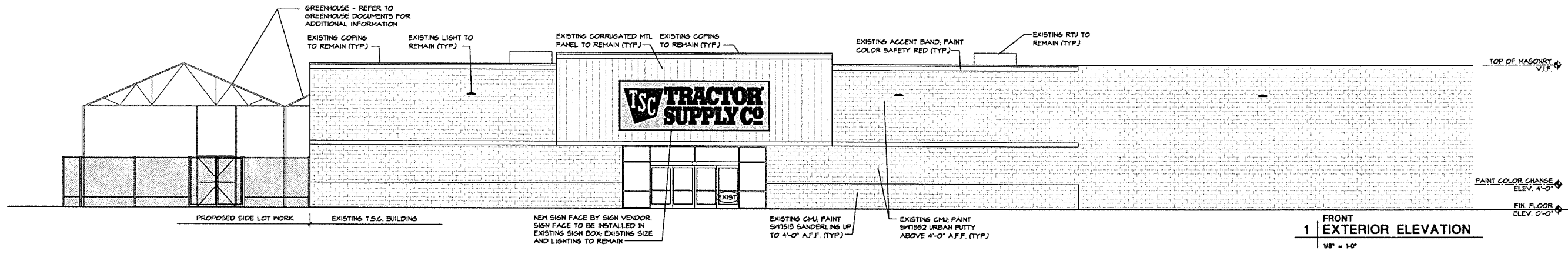


*NOTE: GATE INSTALLER TO DESIGN GATES FOR AN END RESULT OF NO MORE THAN 8" OF SPACE FROM BOTTOM OF GATE TO FINISH SURFACE.

D1 DETAIL
 N.T.S.



D2 ALTERNATE
 DETAIL
 N.T.S.



UNIT HEATER SCHEDULE								
MARK	MANUFACTURER	MODEL	CFM	INPUT MBH	HP	WGT.	POWER V/PH	NOTES
GUH-1,2	GENAIRE	SEP-300	4400	300	(2)1/8	280	120/1	1-3

NOTES:
 1. THERMOSTAT
 2. TYPE B FLUE
 3. SUSPEND FROM STRUCTURE

EXHAUST FAN SCHEDULE								
MARK	MANUFACTURER	MODEL	CFM	EBP	BONES	WGT.	POWER V/PH	NOTES
EF-1,2	COOK	GC-168	150	0.35	3.5	15 LBS	60W 120/1	1-2

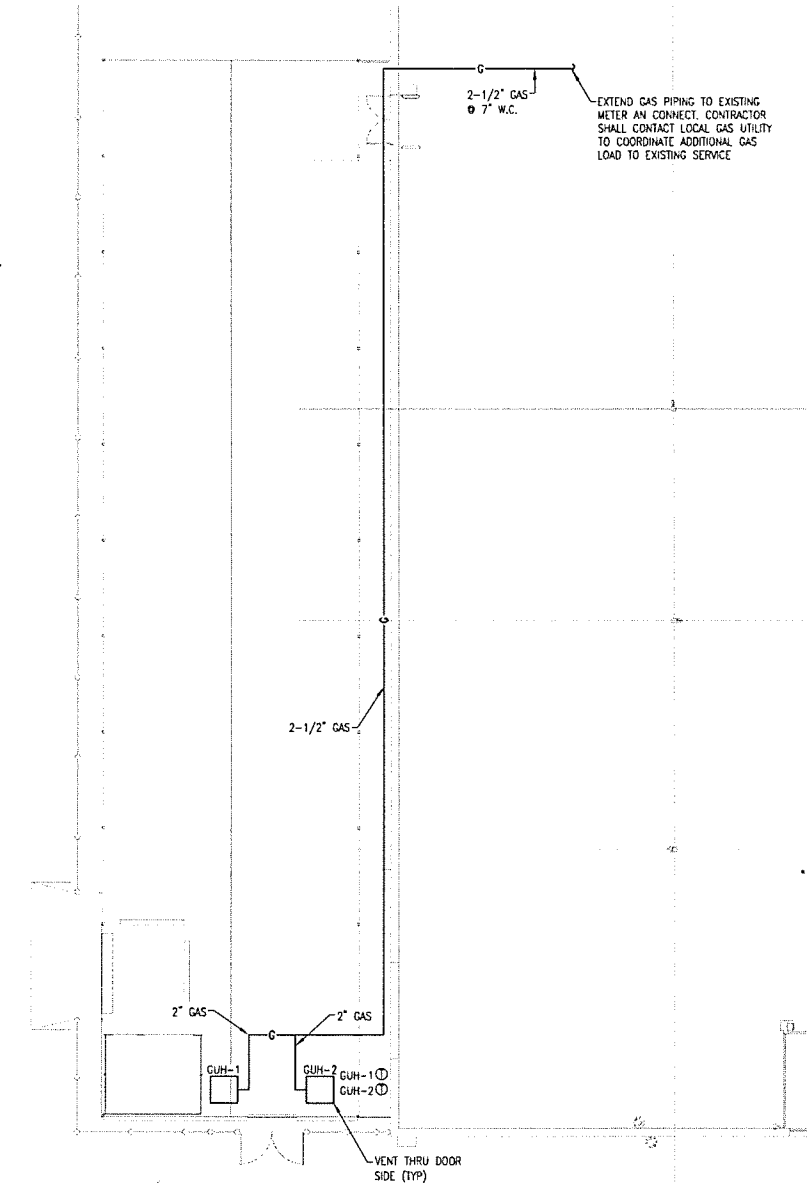
NOTES:
 1. BACKDRAFT DAMPER
 2. VARIABLE SPEED CONTROLLER

(X) KEYED NOTE SCHEDULE

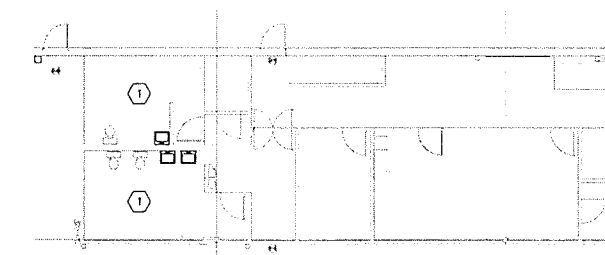
- EXISTING CEILING MOUNTED EXHAUST FAN AND ALL ASSOCIATED DUCTWORK TO REMAIN. CONTRACTOR SHALL FIELD VERIFY EXISTING EXHAUST FAN IS IN GOOD WORKING CONDITION. PROVIDE ALTERNATE BID TO REPLACE EXHAUST FAN PER FAN SCHEDULE. FURNISH AND INSTALL NEW DUCTWORK, CONTROL WIRING, ETC. FOR A COMPLETE AND OPERABLE SYSTEM.

MECHANICAL GENERAL NOTES:

- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT TO INSTALL A COMPLETE AND OPERATION HEATING AND COOLING SYSTEM.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED HVAC PERMITS.
- THE CONTRACTOR SHALL COMPLY WITH NFPA-90A AND ALL APPLICABLE CODES.
- ALL HVAC WORK TO BE PERFORMED SHALL BE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES.
- FLEXIBLE DUCT SHALL COMPLY WITH SMACNA, ALL LOCAL CODES, U.L. RATING, AND NOT EXCEED FIVE FEET IN LENGTH.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SWITCHES, DISCONNECTS, AND CONTROL WIRING.
- THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE THAT SHALL WARRANT ALL WORKMANSHIP AND MATERIALS FOR ONE (1) YEAR FROM THE FINAL WORK ACCEPTANCE BY THE OWNER AND A FIVE YEAR WARRANTY ON THE COMPRESSOR.
- CONTRACTORS SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE SYSTEM AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS DURING CONSTRUCTION.
- CONTRACTOR SHALL INSTALL A THERMOSTAT IN ACCORDANCE WITH THERMOSTAT SPECS.
- ALL SHEET METAL DUCTWORK SHALL COMPLY WITH SMACNA STANDARDS. ALL DUCTWORK JOINTS SHALL BE TAPED AND SEALED.
- CONTRACTOR SHALL PROVIDE EQUIPMENT OF THE SCHEDULED CAPACITIES DESIGNED.



MECHANICAL PLAN
SCALE: 3/32" = 1'-0"



MECHANICAL PLAN
SCALE: 3/32" = 1'-0"

VED, PEG, CHAS, FARMVILLE, VA, 23801
 1507 S MAIN ST, FARMVILLE, VA, 23801
 800-833-7330, WWW.TSCSUPPLY.COM

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FUSION / SIDE LOT
COMBO PROJECT
 STORE #784
 1507 S MAIN ST
 FARMVILLE, VA 23801

Project No.: 2814
 Drawn By: DAM
 Date Issued: 3-9-21
 Issue: BD / PERMIT

M1.0

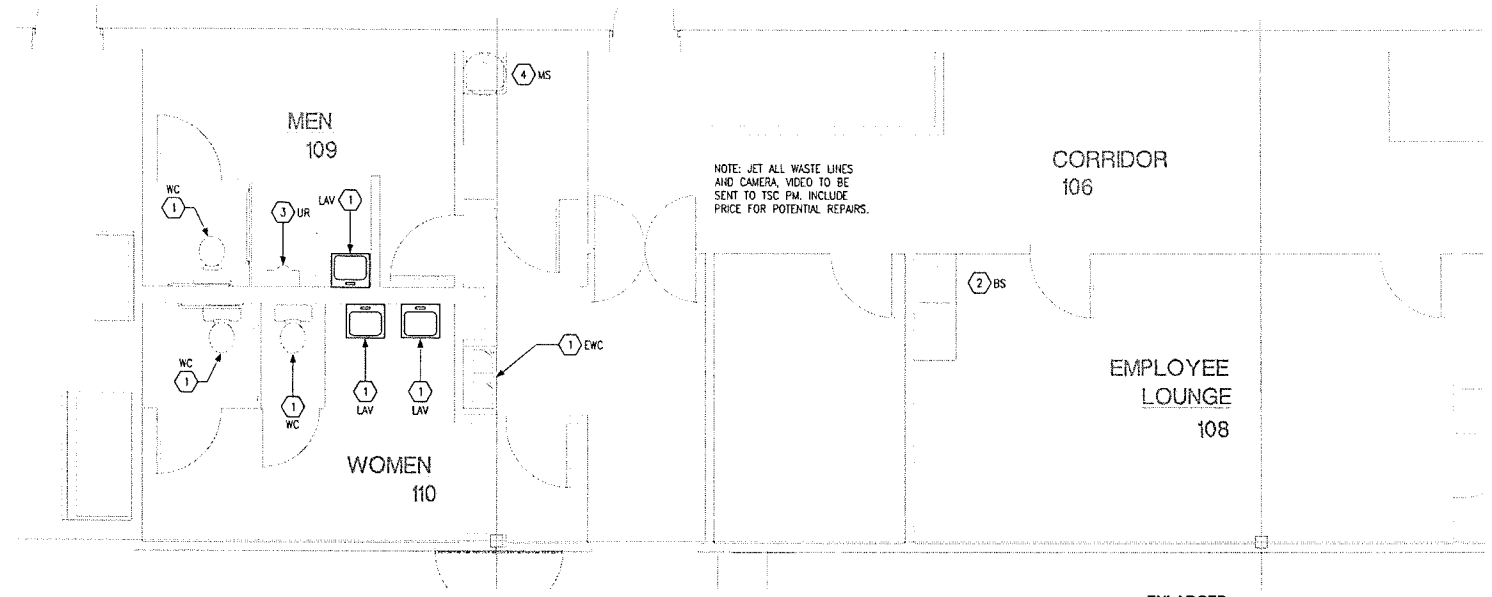
MECHANICAL PLAN

(X)KEYED NOTE SCHEDULE

1. EXISTING PLUMBING FIXTURE TO BE REPLACED PER PLUMBING FIXTURE SCHEDULE. USE EXISTING UTILITIES WITHIN WALLS AND FLOOR TO RE-CONNECT AT MODIFIED LOCATIONS. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS OF EXISTING UTILITY CONNECTIONS BEFORE CONSTRUCTION.
2. REPLACE EXISTING BREAKROOM SINK. SINK TO BE PROVIDED BY TRACTOR SUPPLY COMPANY. RECONNECT WASTE, VENT, SINK AND WATER TO EXISTING LINES AS REQUIRED FOR A COMPLETE AND OPERABLE INSTALLATION.
3. EXISTING URINAL TO BE REUSED. ENSURE CAULK IS CLEAN/SMOOTH TRANSITION FROM URINAL WALL. IF HARDWARE WILL NOT COME CLEAN PER TSC P.M. FURNISH AND INSTALL NEW HARDWARE INCLUDING ESCUTCHEON TRIM RING, VALVE, AND SUPPLY LINE. RETROFIT EXISTING FLUSHVALVE WITH ZURN MODEL ZERK-CFM MOTION SENSOR.
4. REMOVE EXISTING AND REPLACE WITH NEW IN EXISTING LOCATION.

PLUMBING GENERAL NOTES:

- A. PLUMBING CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATIONS AND SIZES OF ALL UTILITIES, INCLUDING THE DEPTHS OF ALL BELOW GRADE SANITARY SEWERS, PRIOR TO START OF WORK. THIS DRAWING IS NOT INTENDED TO INDICATE ALL EXISTING UTILITIES.
- B. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID AND FIELD VERIFY EXISTING CONDITIONS TO ENSURE THAT THE WORK REPRESENTED ON THE DRAWINGS AND IN THESE SPECIFICATIONS CAN BE INSTALLED AS INDICATED. CONTRACTOR SHALL TAKE ALL INTERFERENCES INTO CONSIDERATION. IDENTIFY POTENTIAL INTERFERENCES WITH NEW WORK AND REPORT TO ARCHITECT IMMEDIATELY. PROVIDE ALL NECESSARY OFFSETS TO SUIT FIELD CONDITIONS AS REQUIRED.
- C. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTION POINTS, INCLUDING SIZES AND INVERTS WITH EXISTING FIELD CONDITION PRIOR TO START OF WORK.
- D. MAKE ALL UTILITY CONNECTIONS AND INSTALLATIONS IN FULL ACCORDANCE WITH ALL UTILITY REGULATIONS. PROVIDE ALL ADDITIONAL APPURTENANCES AS REQUIRED BY UTILITY COMPANY. THE COMPLETED INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE INDUSTRY STANDARDS OF GOOD PRACTICE AND SAFETY, AND THE MANUFACTURER'S STRICTEST RECOMMENDATIONS FOR EQUIPMENT AND PRODUCT APPLICATION AND INSTALLATION.
- E. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS RELATED TO THE INSTALLATION OF THE WORK.
- F. ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS, ACTS AND ALL AUTHORITIES HAVING JURISDICTION AND LANDLORD'S CRITERIA.
- G. MAINTAIN ALL MANUFACTURER'S RECOMMENDED SERVICE CLEARANCES FOR ALL FIXTURES AND EQUIPMENT. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF PLUMBING FIXTURES.
- H. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ANY WORK.
- I. SLEEVE AND SEAL ALL PIPE PENETRATIONS OF WALLS AND FLOORS. APPLY INTUMESCENT FIRE SAVING COMPOUND AT PENETRATIONS OF FIRE-RATED WALLS AND FLOORS, MAINTAINING INTEGRITY AND RATING OF FIRE SEPARATION. SLEEVES THROUGH FLOORS SHALL EXTEND 2" ABOVE FLOOR, BE GROUTED INTO PLACE AND WATERPROOFED. PIPING THROUGH EXTERIOR WALLS SHALL BE SLEEVED AND SEALED WEATHER TIGHT WITH SILICONE CAULK.
- J. ALL DOMESTIC COLD WATER PIPING TO BE INSULATED WITH RIGID FIBERGLASS INSULATION WITH TYPE 'AS' JACKET. COLD WATER PIPES AND TO HAVE 1/2" THICK INSULATION.
- K. PVC PIPING IS NOT ALLOWED.



ENLARGED PLUMBING PLAN
SCALE: 1/4" = 1'-0"



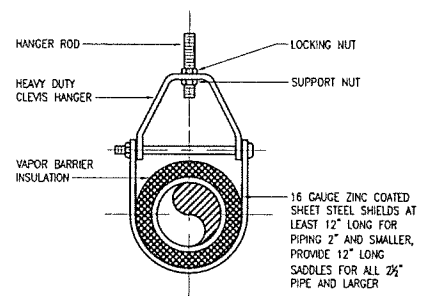
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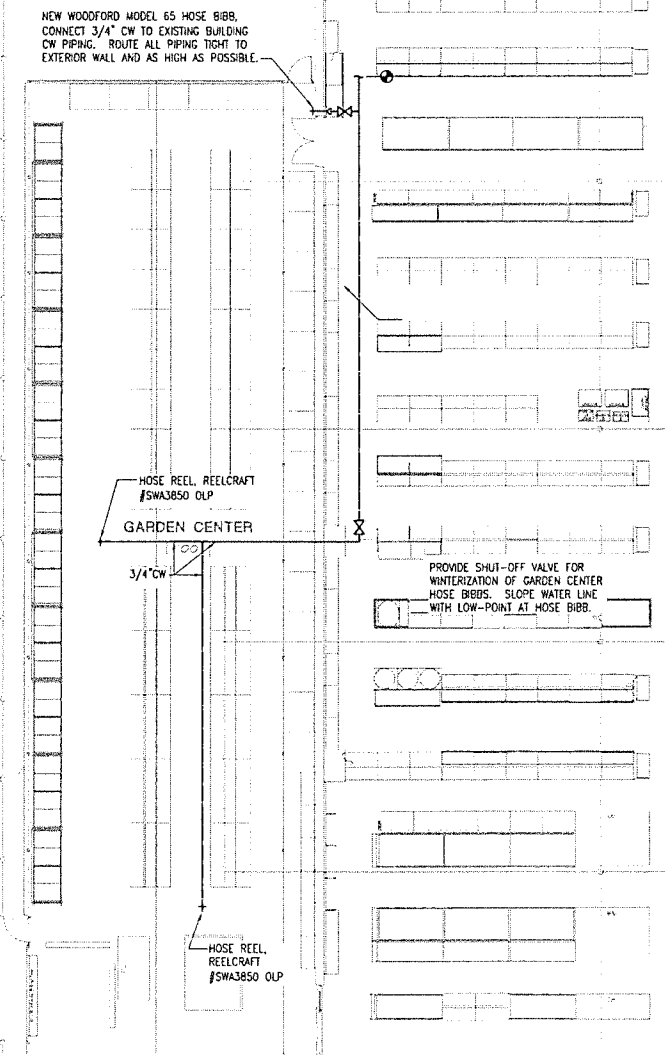
COMBO PROJECT
FUSION / SIDE LOT
STORE #784
1507 S MAIN ST
FARMVILLE, VA 23001

Project No: 8904
 Drawn By: DAM
 Date Issue
 3-8-21 BD / PEP/MT

PLUMBING FIXTURE SPECIFICATIONS		
MARK	DESCRIPTION	**SUBMIT SUBSTITUTIONS FOR EQUAL PRODUCTS TO T.S.C. P.M. FOR APPROVAL
WC	WATER CLOSET (ACCESSIBLE, FLOOR MTD., PRESSURE ASSISTED FLUSH TANK, MOTION ACTIVATED); KOHLER HIGHLINE K-3519, 12" ROUGH-IN, 1.6GPF, WITH SLOW FLUSHWATE PRESSURE ASSIST. LOW CONSUMPTION, VITREOUS CHINA, 17-1/8" HIGH, ELONGATED BOWL FLUSH TANK WATER CLOSET WITH LEFT HAND TRIP LEVEL. PROVIDE KOHLER K-5568 ELONGATED TOILET SEAT, K-5420 BOLT CAPS. FOR RIGHT HAND TRIP LEVEL PROVIDE W/ ALTERNATE TANK CONFIGURATION MODEL K-3519-RH. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING CORRECT TANK SELECTION W/ LATEST ARCHITECTURAL DRAWINGS TO ACCOMMODATE ADA ACCESSIBILITY PRIOR TO ORDERING. PROVIDE W/ INTELLI-FLUSH K-100101 WALL SENSOR, POWERED BY (4)AA BATTERIES, CHROME FINISH.	
LAV	LAVATORY (ACCESSIBLE, WALL HUNG, MOTION ACTIVATED); KOHLER KINGSTON WALL-MOUNT K-2095, VITREOUS CHINA LAVATORY W/ ZURN AQUASENSE BATTERY POWERED 26915-XL FAUCET, POLISHED CHROME FINISH. KOHLER K-21726 DRAIN, KOHLER K-8998 P-TRAP AND KOHLER K-23725 CAST IRON CLEANER, MOUNT FIXTURE W/ FLOOR RIM 34" AFF. FURNISH AND INSTALL W/ ZURN MODEL ZW3870XLT THERMAL MIXING VALVE FOR MAX 110° HOT WATER.	
BS	BREAKROOM SINK (SINGLE BOWL, S.S., GOOSENECK); PROVIDED BY TRACTOR SUPPLY COMPANY & INSTALLED BY CONTRACTOR.	
EWC	ELECTRIC WATER COOLER (ACCESSIBLE, DUAL-HEIGHT); OASIS MODEL PBACSL WITH TOUCH PAD CONTROLS AND WALL MOUNTING BRACKET, 8 GPH, 115/1/60. MOUNT HIGH UNIT AT 42" MAXIMUM FROM FLOOR TO SPOUT OUTLET AND LOW UNIT AT 36" MAXIMUM FROM FLOOR TO SPOUT OUTLET. PROVIDE MCGUIRE 8872 P-TRAP AND MCGUIRE 165-CC SUPPLY WITH STOP. COORDINATE WITH ELECTRICAL CONTRACTOR TO LOCATE RECEPTACLE BEHIND WATER COOLER CABINET.	
MS	MOP SINK; MUSTEE MODEL 63W 24"x24" FIBERGLASS MOP SERVICE BASIN, COMPLETE WITH MODEL 63.401 EXTRUDED BUMPER GUARD, CHICAGO MODEL 897-RCF CHROME PLATED SPOUT WITH VACUUM BREAKER, 3/4" HOSE THREAD OUTLET, PAIL HOOK, WALL SUPPORT, INTEGRAL STOPS, MODEL 369 25" METAL LEVER HANDLES AND 36" LENGTH OF THREADED HOSE.	
UR	KOHLER - MODEL K-4991-ET - VITREOUS CHINA, WALL MOUNTED URINAL WITH TOP SPOUT, 0.125 GPF. FLUSH VALVE: ZURN NO. ZTR5203-ORT SENSOR OPERATED URINAL FLUSH VALVE, BATTERY OPERATED WITH MECHANICAL OVERRIDE BUTTON. COORDINATE WITH MANUFACTURER FOR ADDITIONAL ACCESSORIES FOR PROPER INSTALLATION, INSTALL PER MANUFACTURERS REQUIREMENTS. PROVIDE COMPLETE WITH WALL CARRIER. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT.	



1 | CLEVIS HANGER DETAIL
N.T.S.



PLUMBING PLAN
SCALE: 3/32" = 1'-0"



V:\2021 COMBO PROJECT\VA Farmville - VA\03182101 Fusion Project\8848 for Farmville - VA\03182101 TSC Combo Farmville VA P1.0.dwg
 .XREF: V:\2021 COMBO PROJECT\VA Farmville - VA\03182101 Fusion Project\8848 for Farmville - VA\03182101 TSC Combo Farmville VA P1.0.dwg
 Drawn By: DAM

P1.0

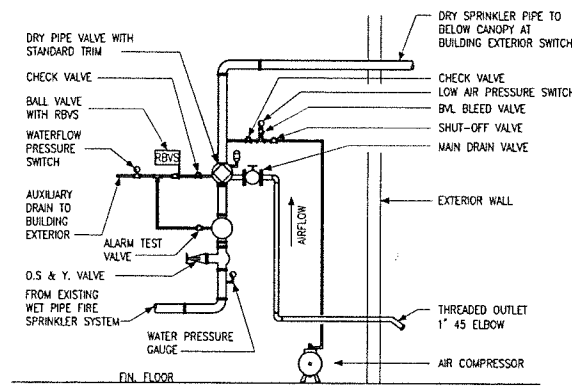
PLUMBING PLAN

FIRE PROTECTION NOTES:

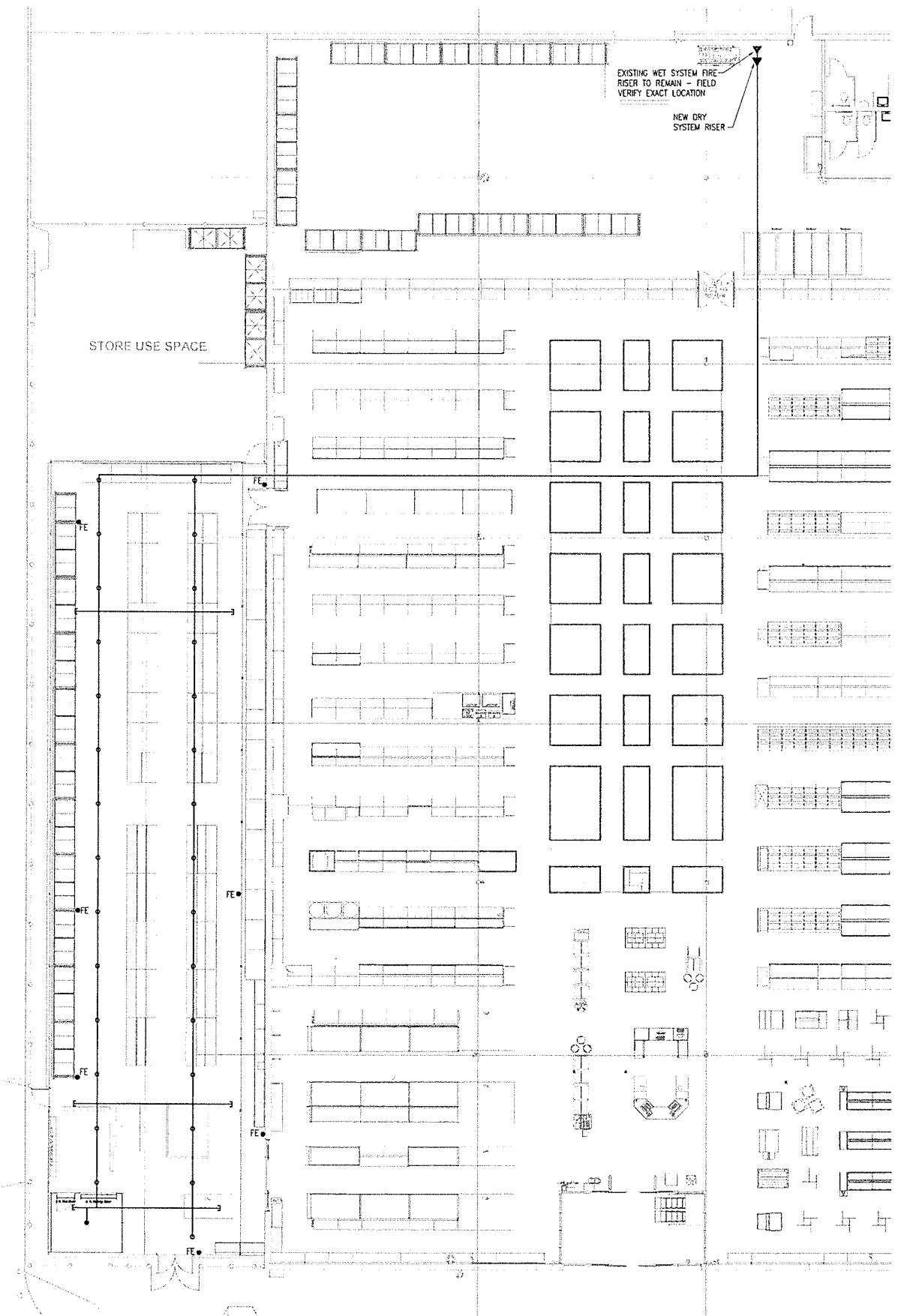
- PROVIDE COVERAGE PER NFPA 13 REQUIREMENTS.
- PROVIDE AND INSTALL DESIGN-BUILD SYSTEM TO MEET CODE REQUIREMENTS. PREPARE HYDRAULIC CALCULATIONS AND DESIGN DRAWINGS. OBTAIN ALL PERMITS, INSPECTIONS AND APPROVALS.
- PROVIDE FIRE STOPPING AT WALL PENETRATIONS, REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- PROVIDE AND INSTALL RECESSED SPRINKLER TYPES IN ALL AREAS WITH FINISHED CEILINGS AND UPRIGHT SPRINKLER HEADS FOR AREAS WITHOUT CEILINGS.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS, MECHANICAL PLANS, LIGHTING PLANS, ETC. FOR COORDINATION AND PLACEMENT OF SPRINKLER HEADS AND PIPING. LIGHTING WILL HAVE HIGHEST PRIORITY.
- SPRINKLER HEADS THAT ARE LOCATED IN THE ACOUSTICAL PANELS OF THE CEILING GRID SHALL BE IN THE CENTER OF THE PANEL. THE EXACT LOCATION OF THE SPRINKLER HEADS SHALL BE DETERMINED AFTER CEILING GRID IS INSTALLED. DO NOT USE THE CEILING GRID PLANS TO DETERMINE THE LOCATION OF THE SPRINKLER HEADS.
- HYDRANT TEST DATA TO BE DETERMINED BY FIRE PROTECTION CONTRACTOR. FIRE PROTECTION CONTRACTOR IS RESPONSIBLE TO DETERMINE IF A FIRE PUMP WILL BE REQUIRED, AND PROVIDE AND INSTALL AS NECESSARY.
- THE COMPLETE INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ALL STATE, LOCAL AND NATIONAL CODES, ALL APPLICABLE SECTIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION, AND DIVISION 13 SPECIAL CONSTRUCTION. NOTE: THE MOST STRINGENT SPECIFICATION REQUIREMENTS APPLY.
- ALL ELECTRICAL CIRCUITS REQUIRED FOR EACH FIRE DETECTION SYSTEM, WATER FLOW ALARM AND VALVE SUPERVISION WIRING SHALL BE CHECKED BY THE FIRE PROTECTION CONTRACTOR TO ENSURE PROPER OPERATION. SPRINKLER SUPERVISORY DEVICES WILL BE COMPATIBLE WITH THE ALARM EQUIPMENT PANEL. COORDINATE WITH FIRE ALARM CONTRACTOR.

SPRINKLER LEGEND	
SYMBOL	DESCRIPTION
○	UPRIGHT HEAD (165)
△	SPRINKLER RISER
●	FIRE EXTINGUISHER
◐	CHROME PENDANT HEAD (165)
◑	DRY-TYPE RECESSED PENDANT HEAD (200)

SPRINKLER INTENT INFORMATION	
ZONE CLASSIFICATION**	FEED STORAGE, GARDEN CENTER ORDINARY HAZARD GROUP 2
DENSITY	.20 GPM/SQ. FT.
COVERAGE AREA	4,750 SQ. FT.
COVERAGE PER SPRINKLER	130 SQ. FT.
DISCHARGE TEMPERATURE	165F
MAXIMUM HEAD SPACING	15 FT.
HOSE STREAM ALLOWANCE	20 GPM



1 | DRY PIPE SPRINKLER RISER SCHEMATIC
N.T.S.



FIRE PROTECTION PLAN
SCALE: 3/32" = 1'-0"

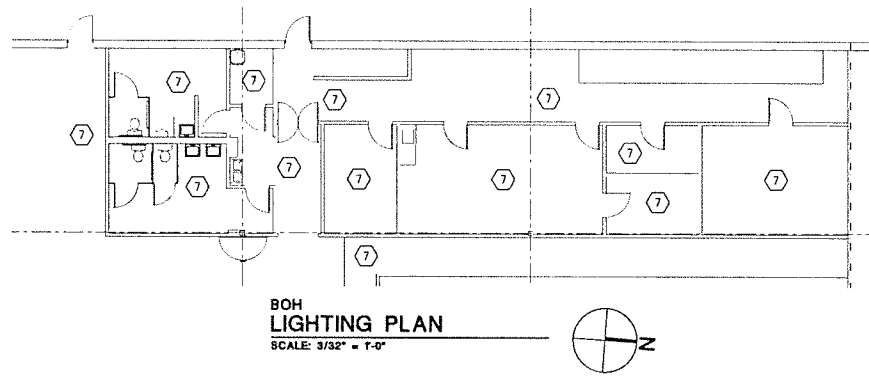


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Project No: 884
Drawn By: JCC
Date: 3-9-21
Issue: BID / PERMIT

1507 S Main St, Farmville, VA 23801
1507 S Main St, Farmville, VA 23801
1507 S Main St, Farmville, VA 23801
1507 S Main St, Farmville, VA 23801



BOH LIGHTING PLAN
SCALE: 3/32" = 1'-0"

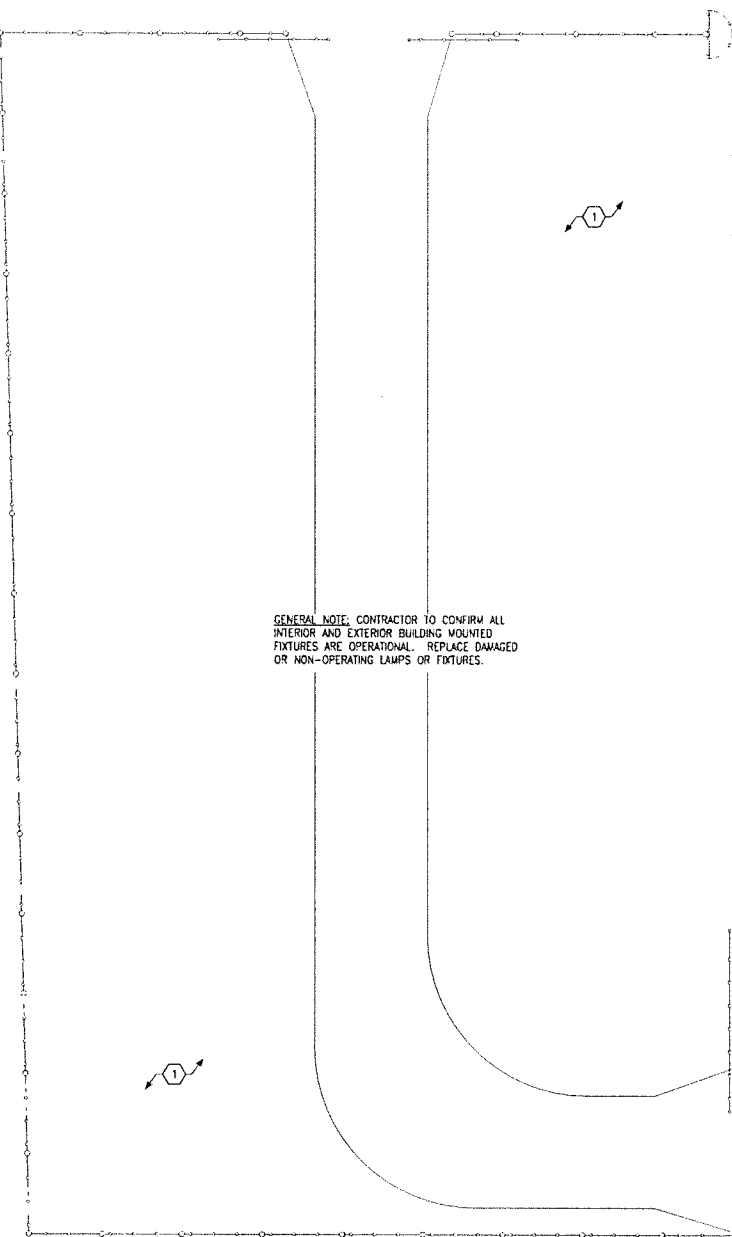
PANEL:		MAIN: 100A MAIN CIRCUIT BREAKER		VOLTAGE: 120/208								
C		PHASE: 3		WIRE: 4								
MOUNTING: SURFACE		LOCATION: IT/ELECTRICAL CLOSET 111		FEED THRU LUGS: NO								
ISOLATED GROUND BUS: NO		BUS AMPS: 225		AC: 10,000								
CKT	NOTE	BKR	LOAD DESCRIPTION	KVA	A#	B#	C#	KVA	LOAD DESCRIPTION	BKR	NOTE	CKT
1		20/1	FIXTURE LIGHTING	1.0	1.0			0.0	SPARE		50/3	2
3		20/1	FIXTURE LIGHTING	1.0		1.0		0.0				4
5		20/1	FIXTURE LIGHTING	1.0			1.0	0.0				6
7		20/1	FIXTURE RECEPTACLES	0.5	1.7			1.2	CIRCULATING FANS		20/1	8
9		20/1	SIGNAGE	0.5		1.0		0.5	GAS UNIT HEATERS		20/1	10
11		20/1	SPARE	0.0			1.2	1.2	MOTORIZED CURTAINS		20/1	12
13		20/1	BOPI'S SHED	0.4	1.6			1.2	MOTORIZED SHADES		20/1	14
15		20/1	SPARE	0.0		0.1		0.1	GREENHOUSE VENT MOTOR		20/1	16
17		20/1	SPARE	0.0			1.0	1.0	HAND DRYER		20/1	18
19		20/1	SPARE	0.0	1.0			1.0	HAND DRYER		20/1	20
21		20/1	GARDEN CENTER LIGHTS	0.7		1.2		0.5	SPRINKLER AIR COMPRESSOR		20/1	22
23		20/1	SLIDING GATE	1.2			1.7	0.5	AUTOMATIC DOOR		20/1	24
25		20/1	SLIDING GATE	1.2	1.2			0.0	SPARE		20/1	26
27		20/1	SPARE	0.0		0.0		0.0	SPARE		20/1	28
29		20/1	SALES FLOOR AH COOLER	0.8			2.0	1.2	OVERHEAD DOOR		20/1	30
31		20/1	VESTIBULE SIGNS	0.4	0.8			0.4	CHICK DAYS POWER REEL		20/1	32
33		20/1	SELF CHECKOUT	0.5		0.5		0.0	SPARE		20/1	34
35		20/1	SPARE	0.0			0.0	0.0	SPARE		20/1	36
37		20/1	SPARE	0.0	0.0			0.0	SPARE		20/1	38
39		15/2	SPARE	0.0		0.0		0.0	SPARE		20/1	40
41			SPARE	0.0			0.0	0.0	SPARE		20/1	42

NOTES:
 L HANDLE LOCK
 GFI GROUND FAULT INTERRUPTING
 AFI ARC FAULT INTERRUPTING
 CD CONTINUOUS DUTY
 H HACR RATED

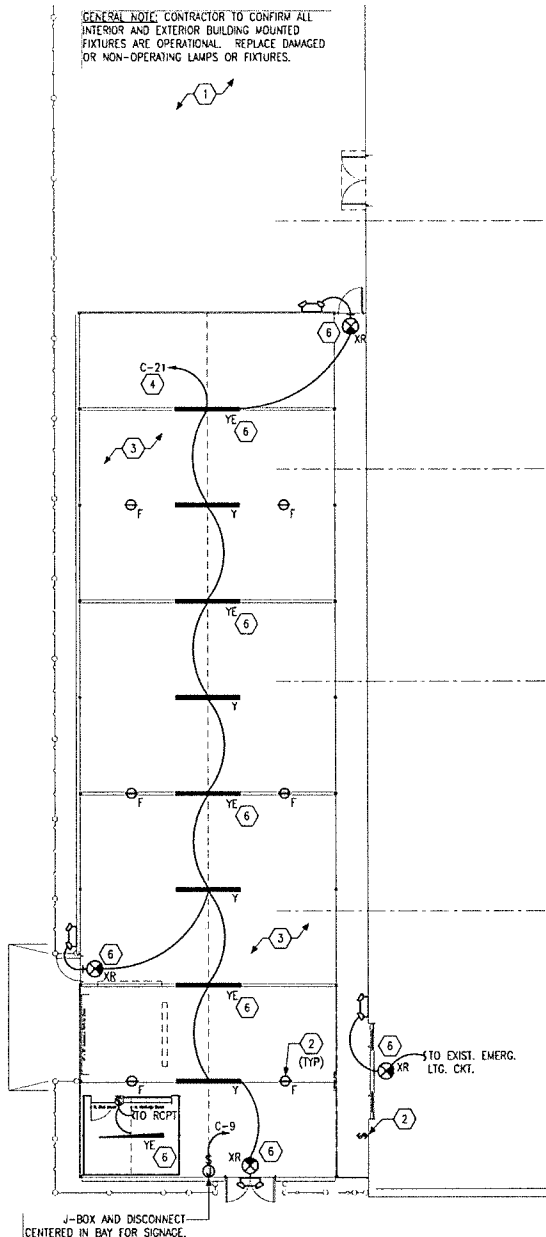
TOTAL KVA PER PHASE:
 7.3 3.8 6.9
 TOTAL KVA: 18.0
 TOTAL AMPS: 50.0

KEYED NOTE SCHEDULE

- ENSURE ALL EXISTING SITE POLE LIGHTING FIXTURES ARE IN GOOD WORKING ORDER. REPAIR AND/OR REPLACE FIXTURES AS NEEDED. BID AS ALTERNATE IF REPAIRS ARE NEEDED.
- PROVIDE WP SIMPLEX RECEPTACLE AT GREENHOUSE STRUCTURE FOR CIRCULATING FANS, CIRCUIT THRU WALL SWITCH AT REGISTER. CIRCUIT C-8.
- COORDINATE EXACT LOCATION OF ALL LIGHTING FIXTURES WITH ARCHITECTURAL REFLECTED CEILING PLAN.
- PROVIDE (3) #12, #126, 3/4" TO 20A, 120V LIGHTING CIRCUIT. ROUTE CIRCUIT THROUGH LIGHTING CONTACT/RELAY CABINET TO OPERATE LIGHTING WITH PARKING LOT LIGHTING. PROVIDE UNSWITCHED HOT FOR EMERGENCY BALLASTS/BATTERY AS NEEDED. PROVIDE ADDITIONAL RELAYS AS NEEDED. COORDINATE EXACT REQUIREMENTS.
- NOT USED.
- CIRCUIT EMERGENCY BALLAST/BATTERY BACKUP TO UNSWITCHED CONTINUOUSLY HOT CONDUCTOR OF CIRCUIT INDICATED.
- REPLACE ALL LIGHT FIXTURES AND LENSES IN THIS AREA. ENSURE ALL LIGHTING FIXTURES, EMERGENCY LIGHT AND EXIT LIGHTS ARE IN PROPER WORKING ORDER. REPLACE LAMPS, BALLASTS, DRIVERS, EMERGENCY BATTERIES ETC. AS REQUIRED. REPLACE FIXTURE W/ NEW TO MATCH EXISTING AS NEEDED.



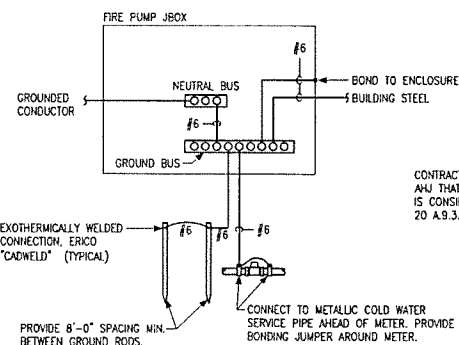
FENCED OUTDOOR AREA LIGHTING PLAN
SCALE: 3/32" = 1'-0"



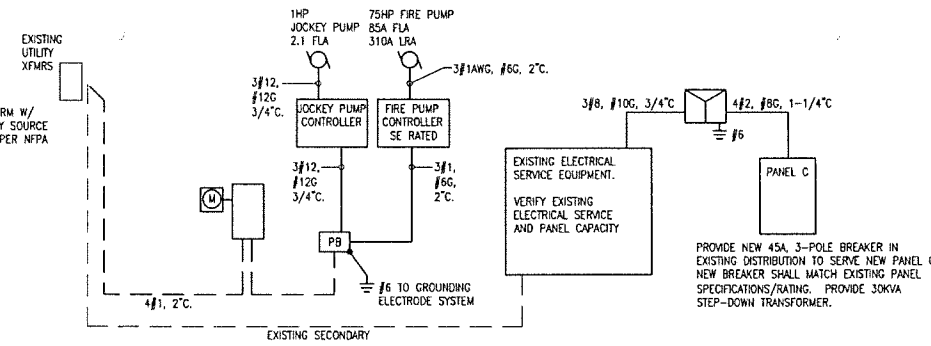
LIGHTING PLAN
SCALE: 3/32" = 1'-0"

MARK	SYMBOL	MANUFACTURER CATALOG NO.	MOUNTING	LAMPS	FIXTURE WATTS	VOLTAGE	DESCRIPTION
G	o	MAXLITE HURS-45-U-L-P	PENDANT	5,760 LUMEN LED 5000K	42	UNV.	CLASS 1 DIV. 2 PROPANE STATION LIGHT
Y	—	METALUX 8V72-LD5-9-DR-UNV-L850-CD1-WL-U	SURFACE	9000 LUMEN LED 5000K	66	UNV.	8' LED STRIP WITH LENS AND GASKET
YE	—	METALUX 8V72-LD5-9-DR-UNV-EL10W-CD1-WL-U	SURFACE	9000 LUMEN LED 5000K	66	UNV.	SAME AS 'Y' BUT PROVIDE WITH INTEGRAL EMERGENCY BATTERY
F	o	HESSAIRE 20H4FO	PENDANT	N/A	120W	120V	20" INDUSTRIAL GRADE CIRCULATION FAN
X	⊙	EXTRONIX LIGHTING VEX-U-BP-WB-WH	SURFACE	INCL.	-	UNV.	LED EXIT SIGN
XR	⊙	EXTRONIX LIGHTING VEX-U-BP-WB-WH-R6/MLED2-G-WP	SURFACE	INCL.	-	UNV.	LED EXIT SIGN WITH EXTERIOR REMOTE HEADS

NOTES:
 1. EC SHALL PURCHASE LIGHTING FIXTURES THROUGH TRACTOR SUPPLY COMPANY'S NATIONAL AGREEMENT WITH VILLA LIGHTING SUPPLY, INC. CONTACT ANNE VOELKER (TRACTORSUPPLY@VILLALIGHTING.COM) AT 314-633-0554 FOR PRICING.

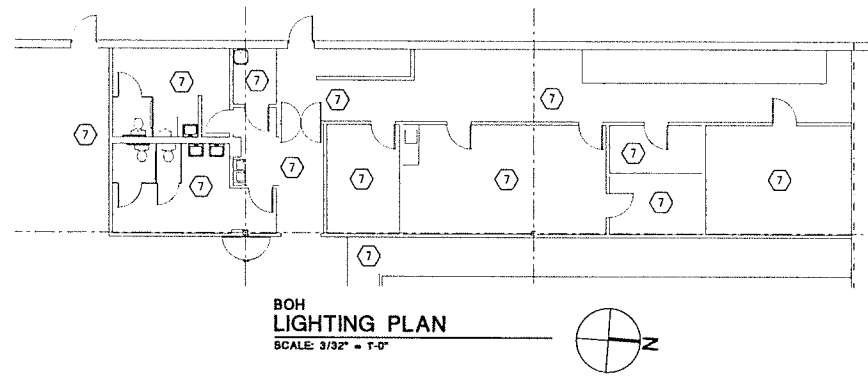


2 | SERVICE GROUND DETAIL
N.T.S.



1 | ONE-LINE DIAGRAM
480/277V

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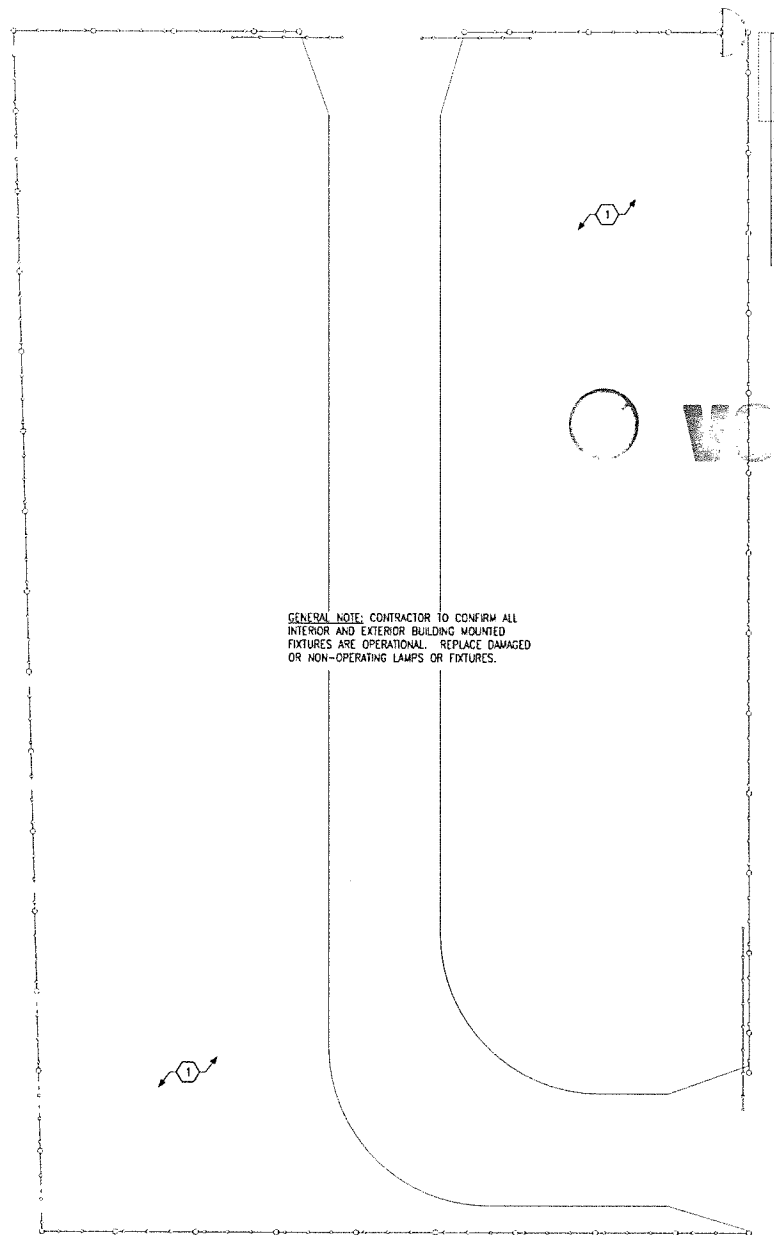
BOH LIGHTING PLAN
SCALE: 3/32" = 1'-0"

PANEL:		MAIN: MAIN LUGS ONLY		VOLTAGE: 120/208								
C		PHASE: J		WIRE: 4								
MOUNTING:		LOCATION: IT/ELECTRICAL CLOSET 111		FEED THRU LUGS: NO								
SURFACE		ISOLATED GROUND BUS: NO										
CKT	NOTE	BKR	LOAD DESCRIPTION	KVA	AP	B#	C#	KVA	LOAD DESCRIPTION	BKR	NOTE	CKT
1		20/1	FIXTURE LIGHTING	1.0	1.0			0.0	SPARE	50/3		2
3		20/1	FIXTURE LIGHTING	1.0		1.0		0.0				4
5		20/1	FIXTURE LIGHTING	1.0			1.0	0.0				6
7		20/1	FIXTURE RECEPTACLES	0.5	1.7			1.2	CIRCULATING FANS	20/1		8
9		20/1	SIGNAGE	0.5		1.0		0.5	GAS UNIT HEATERS	20/1		10
11		20/1	SPARE	0.0			1.2	1.2	MOTORIZED CURTAINS	20/1		12
13		20/1	BOPIIS SHED	0.4	1.6			1.2	MOTORIZED SHADES	20/1		14
15		20/1	SPARE	0.0		0.1		0.1	GREENHOUSE VENT MOTOR	20/1		16
17		20/1	SPARE	0.0			1.0	1.0	HAND DRYER	20/1		18
19		20/1	SPARE	0.0	1.0			1.0	HAND DRYER	20/1		20
21		20/1	GARDEN CENTER LIGHTS	0.7			1.2	0.5	SPRINKLER AIR COMPRESSOR	20/1		22
23		20/1	SLIDING GATE	1.2			1.7	0.5	AUTOMATIC DOOR	20/1		24
25		20/1	SLIDING GATE	1.2	1.2			0.0	SPARE	20/1		26
27		20/1	SPARE	0.0		0.0		0.0	SPARE	20/1		28
29		20/1	SALES FLOOR AH COOLER	0.8			2.0	1.2	OVERHEAD DOOR	20/1		30
31		20/1	VESTIBULE SIGNS	0.4	0.8			0.4	CHICK DAYS POWER REEL	20/1		32
33		20/1	SELF CHECKOUT	0.5		0.5		0.0	SPARE	20/1		34
35		20/1	SPARE	0.0			0.0	0.0	SPARE	20/1		36
37		20/1	SPARE	0.0	0.0			0.0	SPARE	20/1		38
39		15/2	SPARE	0.0		0.0		0.0	SPARE	20/1		40
41				0.0		0.0		0.0	SPARE	20/1		42

NOTES:	TOTAL KVA PER PHASE:	7.3	3.8	6.9
L HANDLE LOCK	TOTAL KVA:	18.0		
GF1 GROUND FAULT INTERRUPTING	TOTAL AMPS:	50.0		
AF1 ARC FAULT INTERRUPTING				
CD CONTINUOUS DUTY				
H HACR RATED				

LIGHT FIXTURE SCHEDULE							
MARK	SYMBOL	MANUFACTURER CATALOG NO.	MOUNTING	LAMPS	FIXTURE WATTS	VOLTAGE	DESCRIPTION
G	○	MAXLITE HLRS-45-U-L-P	PENDANT	5,760 LUMEN LED 5000K	42	UNV.	CLASS 1 DM. 2 PROPANE STATION LIGHT
Y	—	METALUX 8V72-LD5-9-DR-UNV-LB50-CD1-WL-U	SURFACE	9000 LUMEN LED 5000K	66	UNV.	6" LED STRIP WITH LENS AND GASKET
YE	—	METALUX 8V72-LD5-9-DR-UNV-EL10W-CD1-WL-U	SURFACE	9000 LUMEN LED 5000K	66	UNV.	SAME AS 'Y' BUT PROVIDE WITH INTEGRAL EMERGENCY BATTERY
F	○	HESSAIRE 20HAF0	PENDANT	N/A	120W	120V	20" INDUSTRIAL GRADE CIRCULATION FAN
X	⊗	EXITRONIX LIGHTING VEX-U-BP-WB-WH	SURFACE	INCL.	-	UNV.	LED EXIT SIGN
XR	⊗ →	EXITRONIX LIGHTING VEX-U-BP-WB-WH-R6/MLED2-G-WP	SURFACE	INCL.	-	UNV.	LED EXIT SIGN WITH EXTERIOR REMOTE HEADS

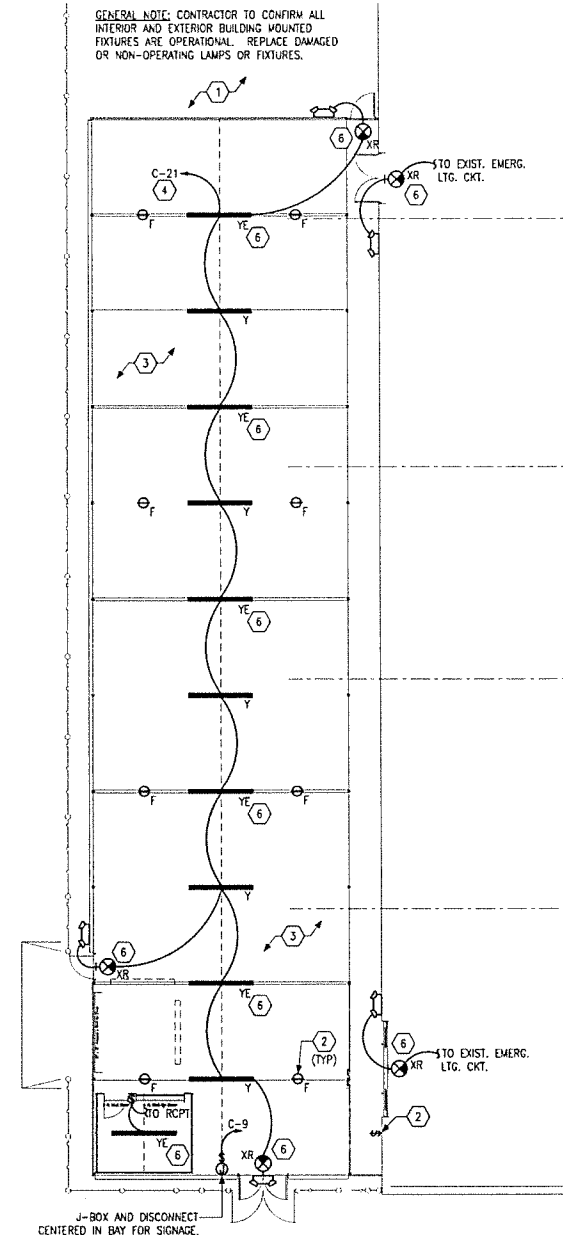
NOTES:
1. EC SHALL PURCHASE LIGHTING FIXTURES THROUGH TRACTOR SUPPLY COMPANY'S NATIONAL AGREEMENT WITH VILLA LIGHTING SUPPLY, INC. CONTACT ANNE VOELKER (TRACTORSUPPLY@VILLALIGHTING.COM) AT 314-633-0554 FOR PRICING.



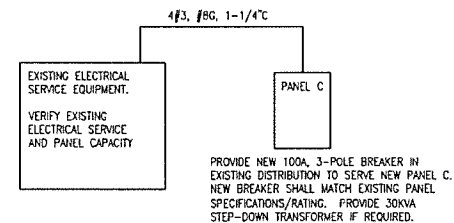
FENCED OUTDOOR AREA LIGHTING PLAN
SCALE: 3/32" = 1'-0"

KEYED NOTE SCHEDULE

- ENSURE ALL EXISTING SITE POLE LIGHTING FIXTURES ARE IN GOOD WORKING ORDER. REPAIR AND/OR REPLACE FIXTURES AS NEEDED. BID AS ALTERNATE IF REPAIRS ARE NEEDED.
- PROVIDE WP SIMPLEX RECEPTACLE AT GREENHOUSE STRUCTURE FOR CIRCULATING FANS, CIRCUIT THRU WALL SWITCH AT REGISTER, CIRCUIT C-8.
- COORDINATE EXACT LOCATION OF ALL LIGHTING FIXTURES WITH ARCHITECTURAL REFLECTED CEILING PLAN.
- PROVIDE (3) #12, #12G, 3/4" TO 20A, 120V LIGHTING CIRCUIT. ROUTE CIRCUIT THROUGH LIGHTING CONTACT/RELAY CABINET TO OPERATE LIGHTING WITH PARKING LOT LIGHTING. PROVIDE UNSWITCHED HOT FOR EMERGENCY BALLASTS/BATTERY AS NEEDED. PROVIDE ADDITIONAL RELAYS AS NEEDED. COORDINATE EXACT REQUIREMENTS.
- NOT USED.
- CIRCUIT EMERGENCY BALLAST/BATTERY BACKUP TO UNSWITCHED CONTINUOUSLY HOT CONDUCTOR OF CIRCUIT INDICATED.
- REPLACE ALL LIGHT FIXTURES AND LENSES IN THIS AREA. ENSURE ALL LIGHTING FIXTURES, EMERGENCY LIGHT AND EXIT LIGHTS ARE IN PROPER WORKING ORDER. REPLACE LAMPS, BALLASTS, DRIVERS, EMERGENCY BATTERIES ETC. AS REQUIRED. REPLACE FIXTURE W/ NEW TO MATCH EXISTING AS NEEDED.



LIGHTING PLAN
SCALE: 3/32" = 1'-0"



PARTIAL ONE-LINE DIAGRAM
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TRACTOR SUPPLY CO.

FUSION / SIDE LOT
COMBO PROJECT
STORE #764
1507 S MAIN ST
FARMVILLE, VA 23001

Project No.: 1904
Drawn By: JLD
Date: 3-9-21 Issue: BID / PERMIT

E1.0

LIGHTING PLAN

(X) KEYED NOTE SCHEDULE

1. JUNCTION BOX FOR POWER CONNECTION TO MOTORIZED DOOR. COORDINATE EXACT LOCATION AND REQUIREMENTS W/ DOOR VENDOR.
2. NOT USED.
3. REPAIR OR REPLACE ANY DAMAGED OUTLETS, RECEPTACLES, AND RECEPTACLE COVERS. ENSURE ALL RECEPTACLES ON EXTERIOR OF BUILDING ARE IN PROPER WORKING ORDER, ARE GFI PROTECTED, AND HAVE A WEATHERPROOF WHILE-IN-USE TYPE COVER.
4. REPAIR ALL ELECTRICAL CONCERNS IN THIS AREA.
5. PROVIDE 120V, 20A DEDICATED CIRCUIT FOR DRY-SPRINKLER SYSTEM COMPRESSOR. PROVIDE FIRE ALARM SYSTEM CONNECTIONS FOR TRAMPER/FLOW/PRESSURE SWITCHES AS REQUIRED.
6. NOT USED.
7. PROVIDE ELECTRICAL DROP FOR LED LIGHTING IN FIXTURE. COORDINATE EXACT LOCATION AND REQUIREMENTS W/ TSC PROJECT MANAGER AND FINAL FIXTURE PLAN. REFER TO DETAIL 2, LIGHT BOX ELECTRICAL DROP DETAIL. ROUTE CIRCUIT THROUGH LIGHTING CONTACT/RELAY CABINET TO BE CONTROLLED WITH SALES FLOOR LIGHTING.
8. PROVIDE POWER FOR SLIDING GATE OPERATOR, DOORING 9150, 120V, 1/2HP (OR APPROVED EQUAL). COORDINATE EXACT REQUIREMENTS W/ GATE VENDOR. PROVIDE CONTROL WIRING AS REQUIRED PER VENDOR RECOMMENDATIONS.
9. NOT USED.
10. NOT USED.
11. PROVIDE 3/4" EMT FROM 12" AFF TO ACCESSIBLE CEILING SPACE FOR EMS AND SECURITY CABLES TO DOCK DOOR SENSOR. LOW VOLTAGE VENDOR TO PROVIDE 18/2 PLENUM CABLE FROM EMS CABINET TO DOCK DOOR MONITOR.
12. "CHICK DAYS" OUTLET. INSTALL OUTLET TO BOTTOM OF JOIST. VERIFY EXACT LOCATION W/ TSC FINAL FIXTURE PLAN. PROVIDE POWER REEL CONNECTED TO OUTLET, HUBBELL #HBLCA0123TT.
13. REWORK EXISTING CASHWRAP POWER AND DATA DROPS AND CUSTOMER SERVICE POWER AND DATA DROPS TO NEW FUSION CASHWRAP. SPLICE AND EXTEND EXISTING CIRCUITS AS REQUIRED. PROVIDE NEW POWER POLE. COORDINATE EXACT LOCATION AND REQUIREMENTS W/ TSC PROJECT MANAGER AND FINAL FIXTURE PLAN. GC SHALL PLACE ORDER FOR THE POWER POLES WITH VILLA LIGHTING (ANNE VOELKER - ANNE.VOELKER@VILLALIGHTING.COM, 314-633-0554). TSC WILL PURCHASE THE POWER POLES BASED ON GC'S ORDER.
14. ROUTE TWO CAT5 CABLES FROM SELF CHECKOUT TO THE IT RACK. PROVIDE 20' OF CABLE AT BOTH ENDS COILED AT CEILING W/ LABELS.
15. FURNISH AND INSTALL POWER POLES FROM SALES COUNTERTOPS TO CEILING STRUCTURE. RELOC #792-1183-SH-B-BLACK. REFER TO OFFICIAL TSC FIXTURE PLAN LAYOUT FOR EXACT LOCATIONS. ATTACH POWER POLE TOP TO UNI-STRUT AT BAR JOIST W/ A U CLAMP TO THE TOP OF THE POWER POLE AT THE BAR JOIST. LOOSEN THE U BOLT USED TO TIGHTEN THE CONNECTION TO THE POWER POLE SO THAT THE POWER POLE IS ABLE TO REMAIN IN POSITION AND THE ROOF CAN FLEX DURING EXPANSION AND CONTRACTION W/OUT DAMAGING THE POWER POLE.
16. PROVIDE NEW JUNCTION BOX FOR HAND DRYER. COORDINATE MOUNTING HEIGHT AND EXACT LOCATION W/ ARCHITECT.
17. RECEPTACLE FOR "STORE OPEN" AND "CUT CADET" SIGN, MOUNTED IN CEILING WITHIN 6" OF VERTICAL STOREFRONT GLASS.

PROVIDE POWER FOR GARDEN CENTER RIDGE VENTS, COORDINATE VENT LOCATION AND PROVIDE CONTROLS.

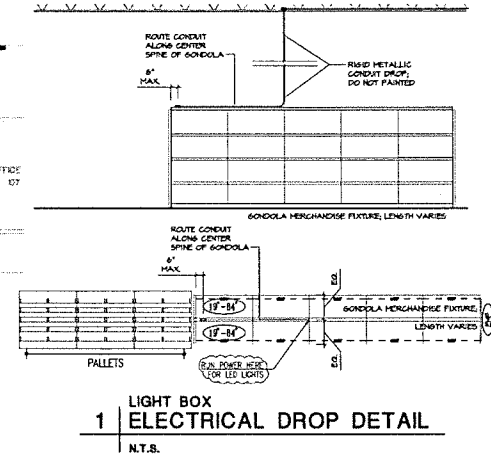
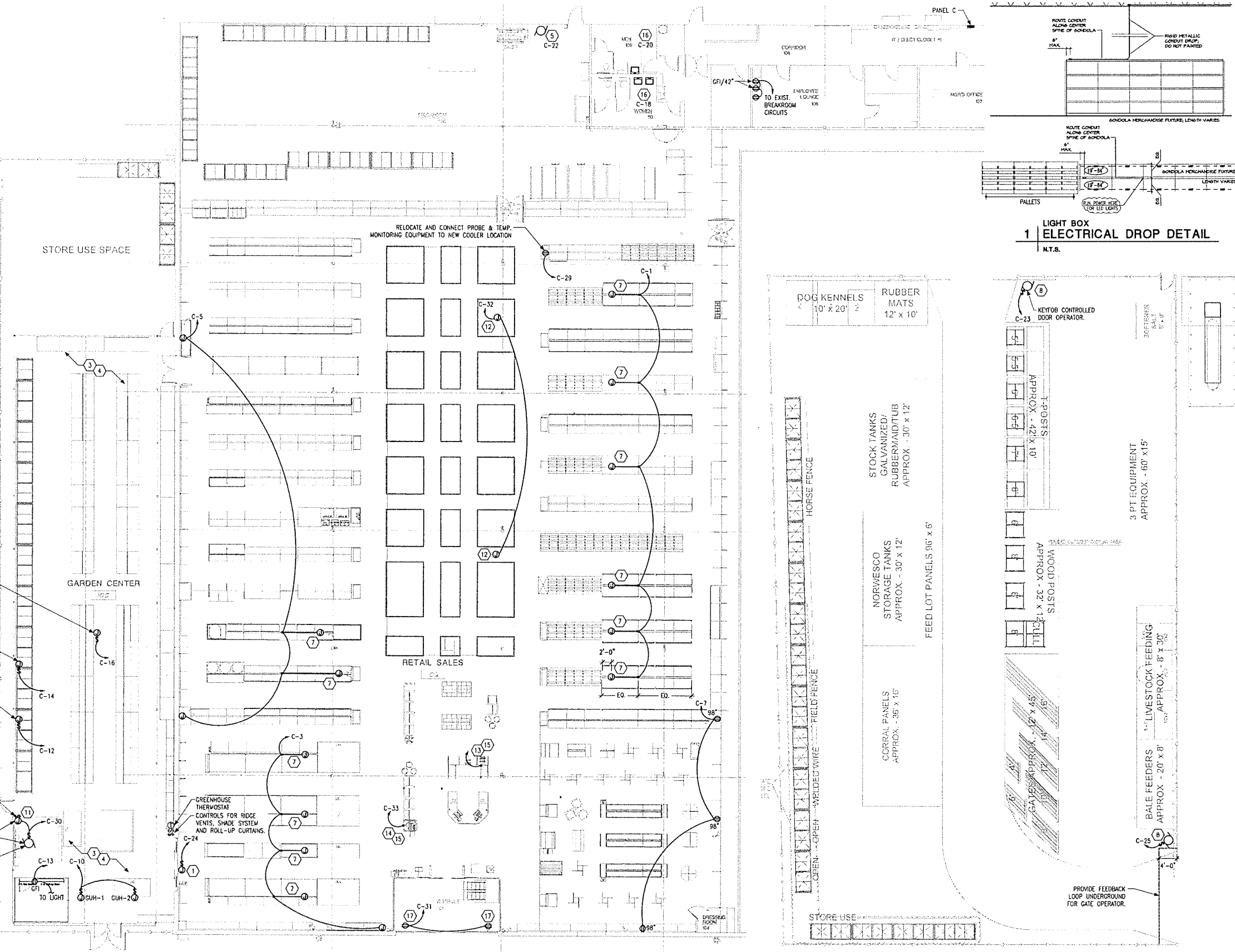
MOTORIZED SHADE POWER, VERIFY LOCATION FOR MOTOR AND CONTROLS, PROVIDE ALL NECESSARY INSTALL FOR CONTROLS.

MOTORIZED CURTAIN POWER, VERIFY LOCATION FOR MOTOR AND CONTROLS, PROVIDE ALL NECESSARY INSTALL FOR CONTROLS.

OVER-RIDE SWITCH FOR POWER DOOR SUPPLIED AND INSTALLED BY DOOR VENDOR. MOUNT ON THE SAME SIDE AS THE DOOR CONTROLS. LABEL SWITCH: SWITCH CLOSED/ON="MER", SWITCH OPEN/OFF="OVERRIDE"

PROVIDE J-BOX FOR POWER AND DOOR CONTROLS WITH DEDICATED CIRCUIT.

PROVIDE REMOTE TRANSMITTER TO BE MOUNTED ON FORKLIFT FOR POWER DOOR.



POWER PLAN
3/32" = 1'-0"

FENCED OUTDOOR AREA POWER PLAN
3/32" = 1'-0"

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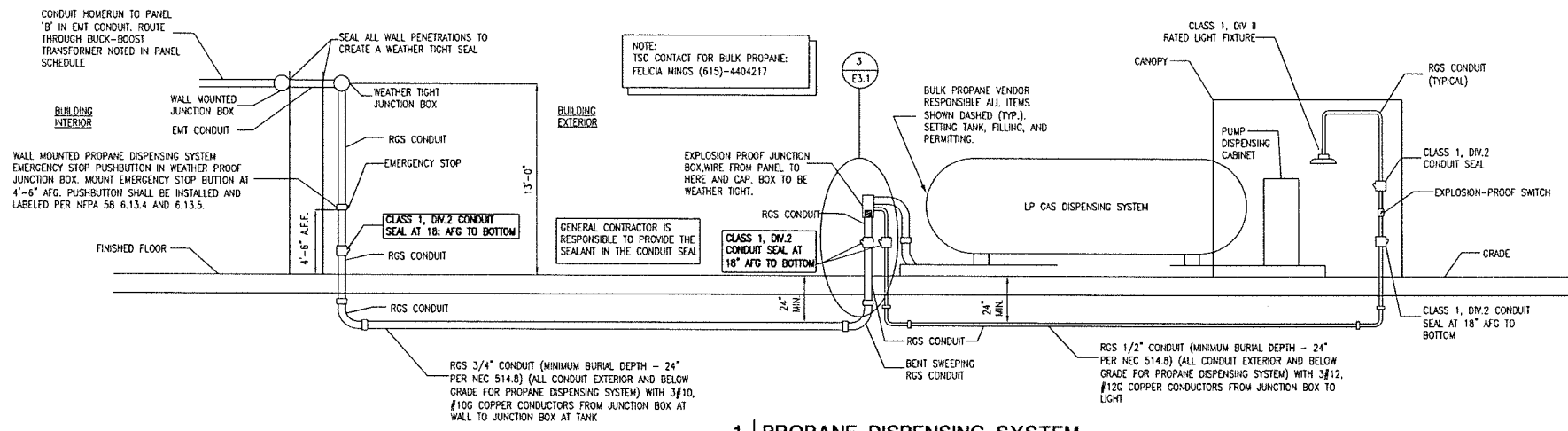


COMBO PROJECT
 FUSION / SIDE LOT
 STORE #784
 1507 S MAIN ST
 FARMVILLE, VA 23901

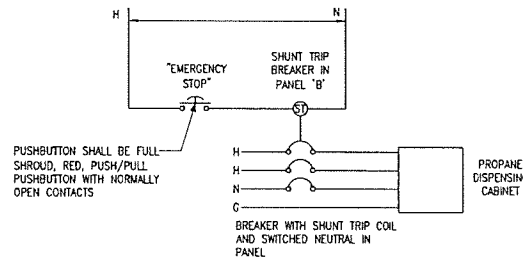
Project No: 9954
 Drawn By: DJ
 Date: 3-9-21
 Scale: BID / PERMIT

E2.0

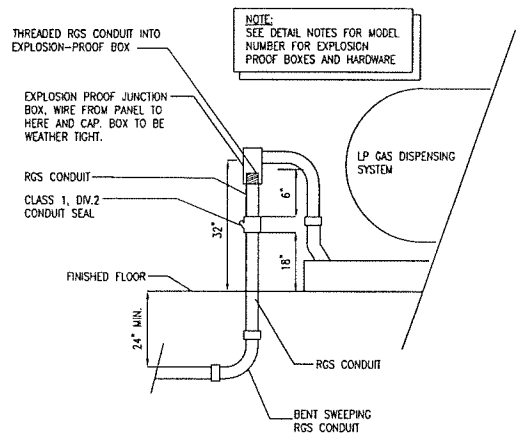
POWER PLAN



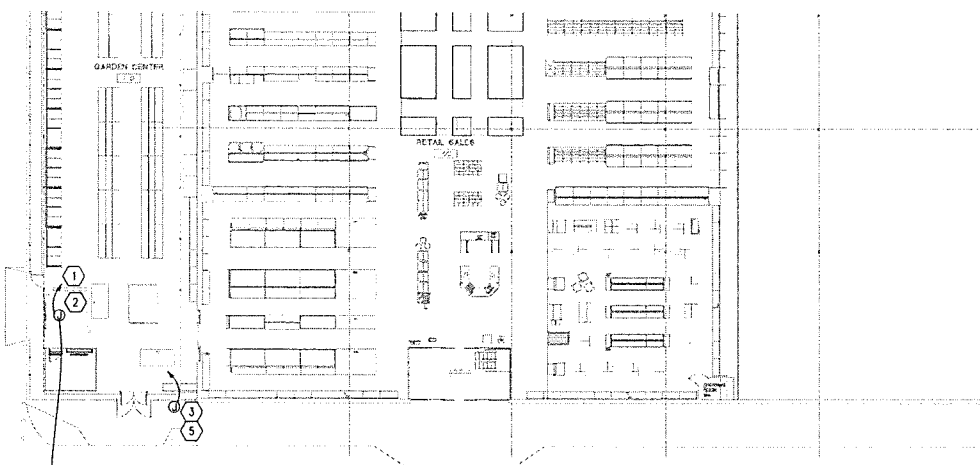
1 | PROPANE DISPENSING SYSTEM
N.T.S.



2 | PROPANE DISPENSING SYSTEM CONTROL DIAGRAM
N.T.S.



3 | ENLARGED DETAIL
N.T.S.



PROPANE RESPONSIBILITY NOTES:

- IF PROPANE IS DELIVERED PRIOR TO FIXTURE DATE:
- GC IS RESPONSIBLE FOR INFRASTRUCTURE RELATED TO PROPANE TANK INSTALLATION.
 - GC IS RESPONSIBLE FOR ELECTRICAL PERMITTING AND FINAL CONNECTION TO PUMP DISPENSING CABINET.
 - BULK PROPANE VENDOR IS RESPONSIBLE FOR GAS PERMITTING OF THE TANK.
 - BULK PROPANE VENDOR IS RESPONSIBLE FOR INSTALLATION AND FINAL GAS CONNECTION AND INSPECTION OF THE TANK.
- IF PROPANE TANK IS DELIVERED AFTER FIXTURE DATE:
- GC IS RESPONSIBLE FOR INFRASTRUCTURE RELATED TO PROPANE TANK INSTALLATION.
 - BULK PROPANE VENDOR IS RESPONSIBLE FOR ELECTRICAL PERMITTING AND FINAL CONNECTION TO PUMP DISPENSING CABINET.
 - BULK PROPANE VENDOR IS RESPONSIBLE FOR GAS PERMITTING OF THE TANK.
 - BULK PROPANE VENDOR IS RESPONSIBLE FOR INSTALLATION AND FINAL GAS CONNECTION AND INSPECTION OF THE TANK.

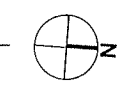
DETAIL NOTES:

- CONDUIT FROM BUILDING TO DISPENSING SYSTEM SHALL BE ROUTED MINIMUM 24\"/>
- ALL EQUIPMENT LOCATED WITHIN FIVE FEET OF TANK SHALL BE RATED FOR USE IN CLASS 1, DIVISION 1 HAZARDOUS LOCATIONS.
- ALL EQUIPMENT LOCATED BETWEEN FIVE FEET OF TANK AND 20 FEET OF TANK SHALL BE RATED FOR USE IN CLASS 1, DIVISION 2 HAZARDOUS LOCATIONS.
- ALL CONDUIT SHALL BE RGS. NO WC OR BLACK IRON PERMITTED. ALL FITTINGS ON RGS CONDUITS SHALL BE THREADED.
- CONDUIT SEALS SHALL BE INSTALLED ON ALL CONDUITS THAT PASS INTO OR THROUGH THE CLASS 1, DIVISION 1 OR 2 HAZARDOUS BOUNDARIES WITHIN TEN FEET AFTER PENETRATION ABOVE GRADE ON EACH END OF CONDUIT PER NEC 514.9.
- PROVIDE AND INSTALL (1) EXPLOSION-PROOF JUNCTION BOX AT THE DISPENSING UNIT. JUNCTION BOX TO BE COPPER CROUSE HINDS MODEL #6UAWZ6. INSTALL SUCH THAT BOX IS IN A VERTICAL POSITION SO THE MAXIMUM WIDTH IS 4-1/4\"/>
- REFERENCE SHEET A-1 FOR EXACT LOCATION OF CONDUIT STUB-UP AT PROPANE TANK.

KEYED NOTE SCHEDULE

- SPLICE AND EXTEND EXISTING PROPANE DISPENSING CIRCUITS TO NEW PROPANE LOCATION.
- EXISTING PROPANE DISPENSING SYSTEM TO BE RELOCATED. REMOVE ALL ASSOCIATED ELECTRICAL EQUIPMENT AND WIRING. CONDUITS SHALL BE CUT BELOW GRADE AND SURFACE PATCHED TO MATCH SURROUNDING SURFACES. LOCATION FOR CONDUIT PENETRATION THROUGH GRADE FROM BUILDING TO PROPANE GAS DISPENSING SYSTEM. VERIFY WITH TSC PROJECT MANAGER IF STOP CANNOT BE FOLLOWED. REFERENCE DETAILS 1,2,3 ON SHEET E2.1.
- PROPANE EMERGENCY STOP BUTTON, LOCATE WITHIN 100' OF PROPANE DISPENSING UNIT. WALL MOUNTED PROPANE DISPENSING SYSTEM EMERGENCY STOP PUSHBUTTON IN WEATHERPROOF JUNCTION BOX. MOUNT EMERGENCY STOP BUTTON AT 4'-6\"/>
- PROVIDE TYPE 'C' LIGHTING FIXTURE AT CANOPY CONTROLLED BY AN EXPLOSION-PROOF SWITCH. CONNECT LIGHT TO PROPANE DISPENSING CIRCUIT. SEE DETAIL 1 ON SHEET E2.1.
- CONTRACTOR SHALL ROUTE CONDUIT FOR ELECTRICAL DEVICES LOCATED BELOW 96\"/>
- PROVIDE AND INSTALL (1) EXPLOSION-PROOF JUNCTION BOX AT THE DISPENSING UNIT. JUNCTION BOX TO BE COPPER CROUSE HINDS MODEL #6UAWZ6. INSTALL SUCH THAT BOX IS IN A VERTICAL POSITION SO THE MAXIMUM WIDTH IS 4-1/4\"/>

PROPANE RELOCATION POWER PLAN
SCALE: 1" = 20'



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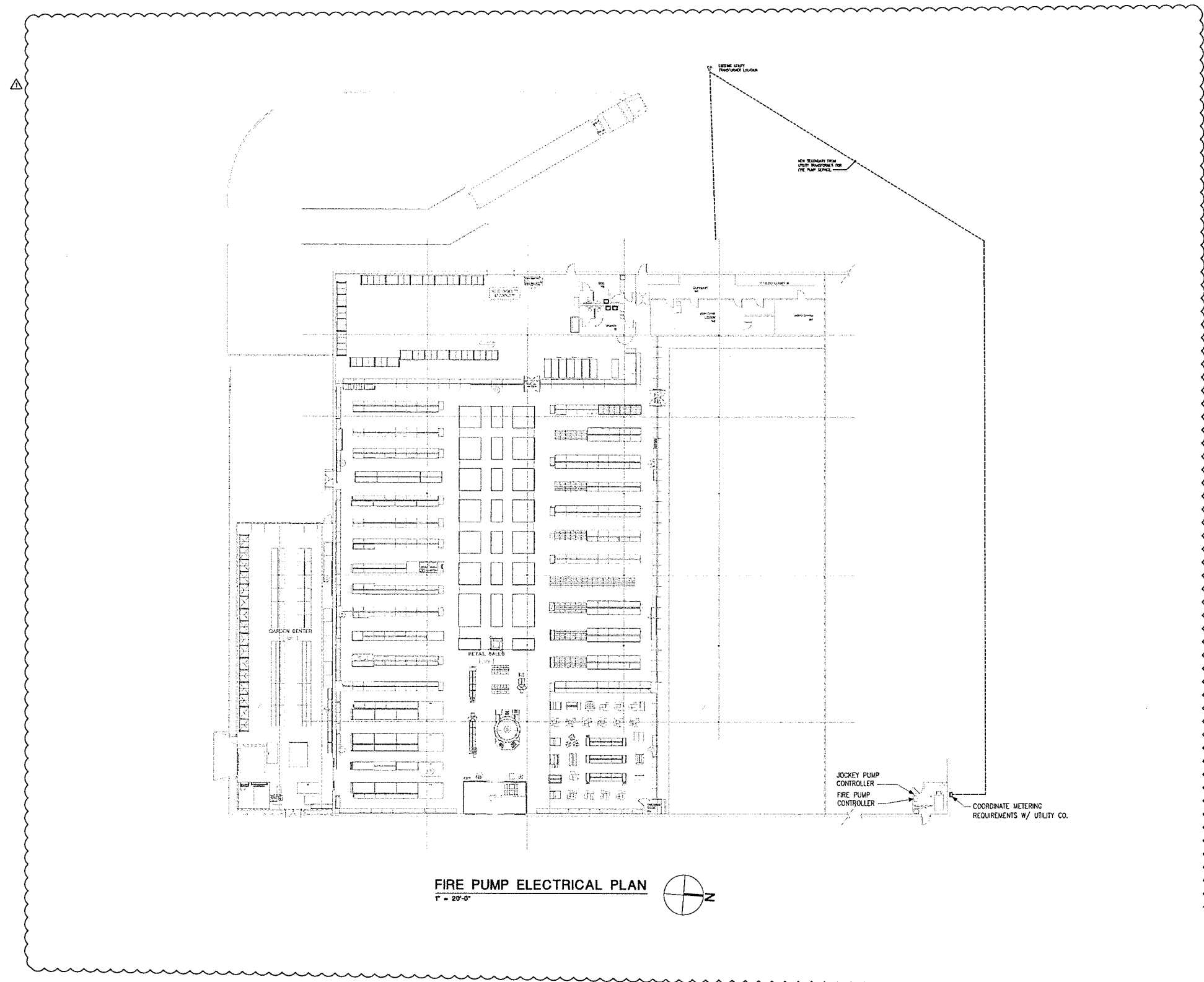
COMBO PROJECT
 FUSION / SIDE LOT
 STORE #784
 1507 S MAIN ST
 FARMVILLE, VA 23801

Project No: 1904
 Drawn By: DJJ
 Date: 3-4-21
 Issue: BID / PERMIT

E2.1

PROPANE ELECTRICAL PLAN AND DETAILS

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FIRE PUMP ELECTRICAL PLAN
 1" = 20'-0"



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FUSION / SIDE LOT
COMBO PROJECT
 STORE #784
 1507 S MAIN ST
 FARMVILLE, VA 23801

Project No.:	8954
Drawn By:	JDJ
Date	Issue
3-8-21	BD / PERMIT
2-2-22	REVISION 1

E2.2

FIRE PUMP ELECTRICAL PLAN

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