





### PAINT FINISH SCHEDULE

PAINT NUMBER	TYPE	COATS	DESCRIPTION	BASE PRODUCT
PT-1	EGGSHELL	2	BENJAMIN MOORE: #2019-70, LIGHTING WHITE	BENJAMIN MOORE: SUPER HIDE ZERO VOC LATEX - 357
PT-2	SEMI-GLOSS ENAMEL	2	BENJAMIN MOORE: #2019-70, LIGHTING WHITE	BENJAMIN MOORE: SUPER HIDE ZERO VOC LATEX - 358
PT-3	SEMI-GLOSS ENAMEL	2	BENJAMIN MOORE: WHITE	BENJAMIN MOORE: SUPER HIDE ZERO VOC LATEX - 358
PT-4	SEMI-GLOSS	2	BENJAMIN MOORE: WHITE	BENJAMIN MOORE: TOUGH SHIELD ACRYLIC GLOSS - TY 43

### FINISH SCHEDULE

ROOM NAME	FLOOR		BASE		WALL		CEILING		FINISH NOTES
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
EXISTING OFFICE	CONCRETE	POLISHED CONC.	4" COVE VINYL	N/A	GYPSUM BOARD	PAINT PT-3	GYPSUM BOARD	EXISTING 8'-0"	6, 7, 8, 11
EXISTING SALES FLOOR	CONCRETE	ENTRY CARPET TILE / POLISHED CONC.	4" COVE VINYL	N/A	GYPSUM BOARD	PAINT PT-1 / FRP TO 4'-0"	2x4 ACT	EXISTING 11'-0"	1, 2, 4, 7, 8, 10
EXISTING STOCKROOM	CONCRETE	SEALED CONCRETE	4" COVE VINYL	N/A	GYPSUM BOARD	EXISTING	EXPOSED STRUCT.	NONE	VARIES
EXISTING TOILET ROOM	SHEET VINYL	EXISTING	6" SHEET VINYL	EXISTING	FRP	EXISTING	GYPSUM BOARD	EXISTING 8'-0"	3, 7
EXISTING HALLWAY	CONCRETE	POLISHED CONC.	4" COVE VINYL	N/A	GYPSUM BOARD	PAINT PT-2 / FRP @ D.F.	2x4 ACT	EXISTING 8'-0"	4, 7

### DOOR & FRAME SCHEDULE

DOOR NUMBER	SIZE	DOOR		FRAME		HARDWARE	DOOR NOTES
		MATERIAL	FINISH	MATERIAL	FINISH		
100	3'-0" x 6'-8" x 13/4"	EXISTING SOLID CORE WOOD	PAINT PT-2 (HALLWAY) / PT-3 (OFFICE)	EXISTING HOLLOW METAL	PAINT PT-2 (HALLWAY) / PT-3 (OFFICE)	HW-1	1, 7
200	(2) 3'-0" x 7'-0" x .063"	EXISTING ALUMINUM SHEET	CLEAR ANNOZZED	EXISTING HOLLOW METAL	FACTORY	HW-2	1, 6, 7
300	3'-0" x 6'-8" x 13/4"	EXISTING SOLID CORE WOOD	PAINT HALLWAY SIDE PT-2	EXISTING HOLLOW METAL	PAINT HALLWAY SIDE PT-2	HW-3	1, 4, 7
400	(2) 3'-0" x 7'-0" x 13/4"	EXISTING HOLLOW METAL	N/A	EXISTING HOLLOW METAL	N/A	HW-4	1, 3, 7, 8
401	3'-0" x 7'-0" x 13/4"	EXISTING HOLLOW METAL	PAINT INSIDE PT-2	EXISTING HOLLOW METAL	PAINT INSIDE PT-2	HW-5	1, 3, 5, 7, 8
500	(2) 3'-0" x 7'-0" x 13/4"	EXISTING STOREFRONT	CLEAR ANNOZZED	STOREFRONT	CLEAR ANNOZZED	HW-6	1, 2, 3

### HARDWARE SCHEDULE

<b>HW-1</b> DOOR 100	EXISTING 11/2" PAIR HINGES: STANDARD WEIGHT HANDLE EXISTING 1 MECHANICAL PUSH BUTTON LOCKSET W/ LEVER EXISTING 1 CLOSER EXISTING FLOOR / WALL STOP
<b>HW-2</b> DOOR 200	EXISTING ELIASON EASY SWING HINGE SYSTEM EXISTING ELIASON FLUSH HM DRYWALL FRAME
<b>HW-3</b> DOOR 300	EXISTING 11/2" PAIR HINGES: STANDARD WEIGHT EXISTING 1 PRIVACY SET W/ LEVER HANDLE EXISTING 1 CLOSER EXISTING 1 FLOOR / WALL STOP
<b>HW-4</b> DOOR 400	EXISTING 3 PAIR HINGES: 4 1/2" HEAVY WEIGHT, NON-REMOVABLE EXISTING 1 NON-ALARMED, NON-KEYED PANIC BAR DEVICE W/O EXTERIOR TRIM EXISTING 2 OVERHEAD STOPS EXISTING 2 FLUSH BOLTS (ON INACTIVE LEAF) EXISTING 1 DUST PROOF STRIKE EXISTING 1 PEEP HOLE @ 4'-3" A.F.F. EXISTING 1 ALUM THRESHOLD (1/2" MAX HEIGHT) EXISTING 3 SWEEPERS EXISTING 1 WEATHER STRIP EXISTING 1 RAIN DRIP EXISTING 1 ASTRAGAL SEAL INSTALL STAND ALONE ALARM - REFER TO DOOR ALARM MOUNTING DETAIL (TENANT SUPPLIED)
<b>HW-5</b> DOOR 401	EXISTING 11/2" PAIR HINGES: 4 1/2" HEAVY WEIGHT, NON-REMOVABLE EXISTING 1 NON-ALARMED, NON-KEYED PANIC BAR DEVICE W/O EXTERIOR TRIM EXISTING 1 CLOSER W/O HOLD OPEN EXISTING 1 PEEP HOLE @ 4'-3" A.F.F. EXISTING 1 ALUM THRESHOLD (1/2" MAX HEIGHT) EXISTING 1 SWEEP EXISTING 1 WEATHER STRIP EXISTING 1 RAIN DRIP INSTALL STAND ALONE ALARM - REFER TO DOOR ALARM MOUNTING DETAIL (TENANT SUPPLIED) INSTALL OVERHEAD STOP
<b>HW-6</b> DOOR 500	EXISTING CONTINUOUS HINGES PER STOREFRONT MANUFACTURER EXISTING 2 CLOSERS WITH STOP ARM AND EXIST DROP PLATE W/O HOLD OPEN EXISTING 2 FLUSH BARS EXISTING 2 PULL HANDLES EXISTING 1 KABA CYLINDER EXISTING 1 SWEEP EXISTING 1 WEATHER STRIP EXISTING 1 COMMERCIAL GRADE DEADLOCK W/ THUMB TURN ON INSIDE EXISTING 1 THRESHOLD

#### FINISH NOTES:

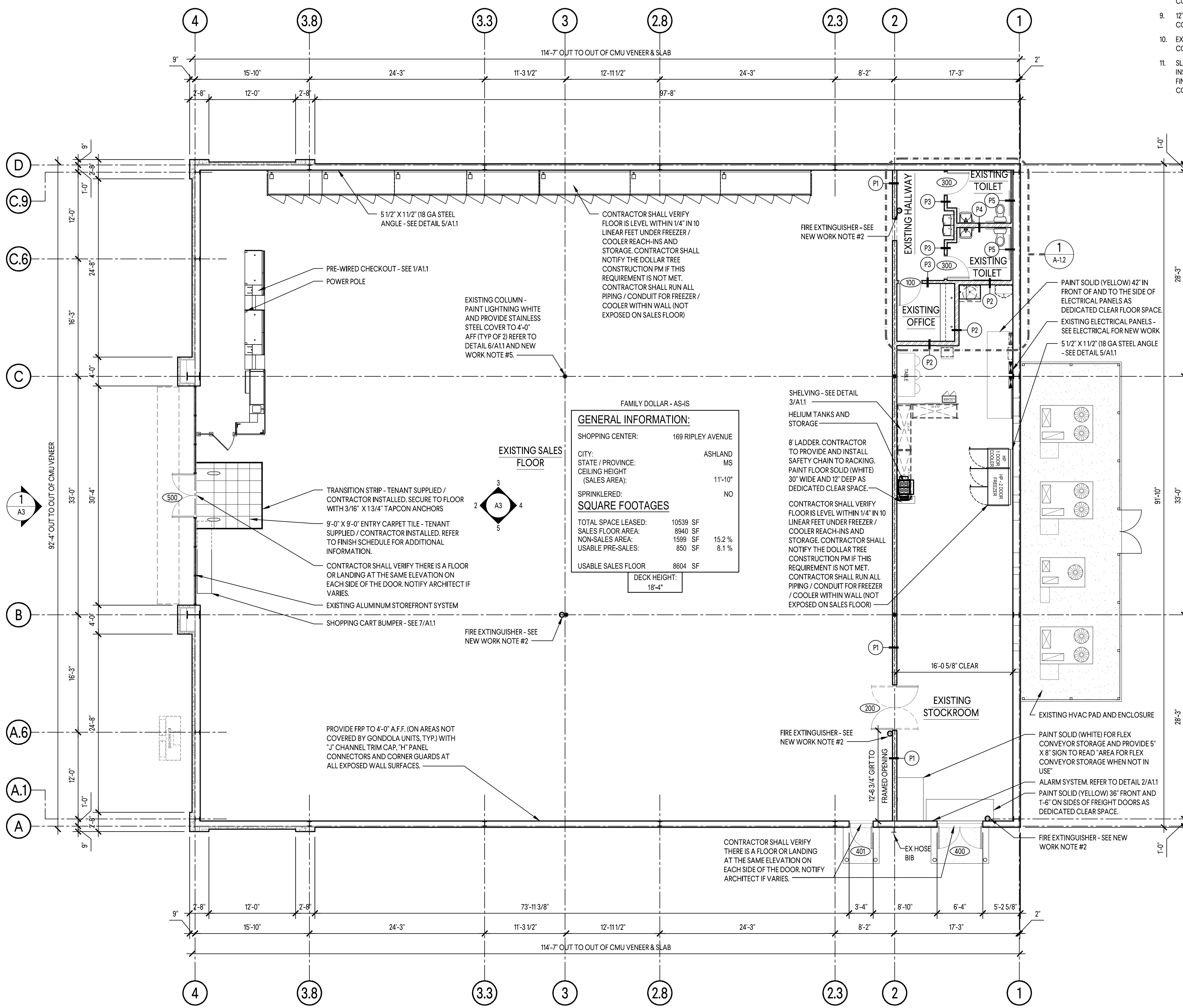
- CARPET TILE MANUFACTURED BY PORTICO SYSTEMS AND TENANT SUPPLIED; CONTRACTOR INSTALLED. INSTALL TILES QUARTER TURNED AND PER TENANT'S CRITERIA. ENTRY TILE DOMINATOR TILE - ANTHRACITE #553. CONTRACTOR SHALL PREPARE FLOOR SURFACE AND COORDINATE CARPET INSTALLATION W/ CARPET INSTALLER.
- VINYL COVE BASE SHALL BE 4" HIGH TORSET COVE VINYL - ARMSTRONGS BLACK. IN THE SALES FLOOR INSTALL ONLY IN EXPOSED AREAS NOT BEHIND THE CONDOLAS AND FREEZER / COOLERS. IN THE STOCKROOM INSTALL AT MOP SINK AND CABINET ONLY. BASE SHALL BE PROVIDED THROUGHOUT ALL OTHER SCHEDULED SPACES.
- VERIFY EXISTING IMPERVIOUS FLOOR FINISH AND BASE HEAT WELDED SHEET VINYL OR OTHER ACCEPTABLE.
- REPLACE MISSING AND/OR DAMAGED ACT. REPLACEMENT OF THE 2'-0" X 4'-0" TILES SHALL MATCH EXISTING. CLEAN ENTIRE CEILING AND GRID WITH A CLEANSING SPRAY TO PROVIDE A UNIFORM WHITE SURFACE.
- SEALER: CLEAR ACRYLIC SEALER BY MASTERKURE, CC300SB OR FDS APPROVED SUBSTITUTE.
- INSTALL TENANT SUPPLIED FILING CABINETS UNDERNEATH EXISTING COUNTER. REFER TO OFFICE ELEVATION 2/A1.3.
- FRP (FIBERGLASS REINFORCED PANEL); VERIFY EXISTING WHITE FRP IN TOILET ROOM FROM FLOOR TO 6'-0" AFF. IN STOCKROOM BEHIND MOP SINK, AND IN HALLWAY BEHIND DRINKING FOUNTAIN. PROVIDE WHITE FRP IN STOCKROOM BEHIND UTILITY CABINET & IN OFFICE TO 4'-0" A.F.F. PROVIDE FRP ON SALES FLOOR (WHERE NOTED ON PLANS) ELEVATIONS SHALL BE ALMOND COLOR WITH "J" CHANNEL TRIM CAP AND "I" CHANNEL PANEL CONNECTORS.
- POLISHED CONCRETE FLOOR ON SALES FLOOR AND OFFICE. POLISHED CONCRETE FLOOR BY TENANT'S VENDOR. COORDINATE WITH TENANT.
- 12" STRIP AROUND PERIMETER & AROUND COLUMNS. COLOR PT-4.
- EXPOSED STEEL COLUMNS TO BE PAINTED PT-2. ROUND COLUMNS ARE NOT TO RECEIVE COVE BASE.
- SLATWALL SHALL BE PROVIDED BY TENANT AND INSTALLED BY TENANT'S CONTRACTOR. ALL OTHER FINISHES SHALL BE PROVIDED AND INSTALLED BY TENANT'S CONTRACTOR.

#### DOOR NOTES:

- DOOR, FRAME AND HINGES ARE EXISTING BY LANDLORD. PROVIDE AND INSTALL ANY MISSING ITEMS OF HARDWARE PER HARDWARE NOTES.
- PROVIDE NYLON WASHER / GROMMETS AT THE DOOR HANDLES AND CRASH BARS TO PREVENT METAL ON METAL.
- CONTRACTOR TO VERIFY THERE IS AN EXISTING LANDLORD INSTALLED DOOR SWEEP ON ALL EXTERIOR DOORS TO PREVENT WATER, WIND AND DEBRIS INFILTRATION.
- CONTRACTOR TO VERIFY THERE IS AN EXISTING LANDLORD INSTALLED COAT HOOK AT 48" AFF. ON BACK SIDE OF DOOR.
- PROVIDE SIGNAGE THAT READS "EMERGENCY EXIT ONLY".
- DOORS AND FRAMES TO BE PRIMED AND PAINTED IN FIELD WITH 1 COAT PRIMER AND 2 COATS COLOR TO MATCH WALL SURFACE OF DOOR FACING.
- SEE 2/A1.1 FOR ADDITIONAL INFORMATION.

#### GENERAL HARDWARE NOTES:

- THRESHOLDS AT EGRESS DOORS SHALL BE NO MORE THAN 1/2" MAX HEIGHT A.F.F.
- ALL DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34" (MIN) TO 44" (MAX) AFF AND SHALL BE "SINGLE-HANDED" OPERABLE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE.
- WHERE EGRESS DOORS ARE USED IN PAIRS, THE UNLATCHING OF THE LEAF SHALL NOT REQUIRE MORE THAN ONE (1) OPERATION AS MENTIONED IN GENERAL HARDWARE NOTE #2 ABOVE.
- CONTROLS AND OPERATING MECHANISMS SHALL BE LEVER-TYPE (OR EQUAL) PROVIDING OPERATION WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.
- THE FORCE REQUIRED TO ACTIVATE CONTROLS OF INTERIOR HINGED DOORS SHALL BE NO GREATER THAN 5 POUNDS (22.2 N).
- DOORS EQUIPPED WITH CLOSERS SHALL BE ADJUSTED SO THAT THE SWEEP PERIOD FROM AN OPEN POSITION OF 70 DEGREES WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED FROM THE LEADING EDGE OF THE DOOR.

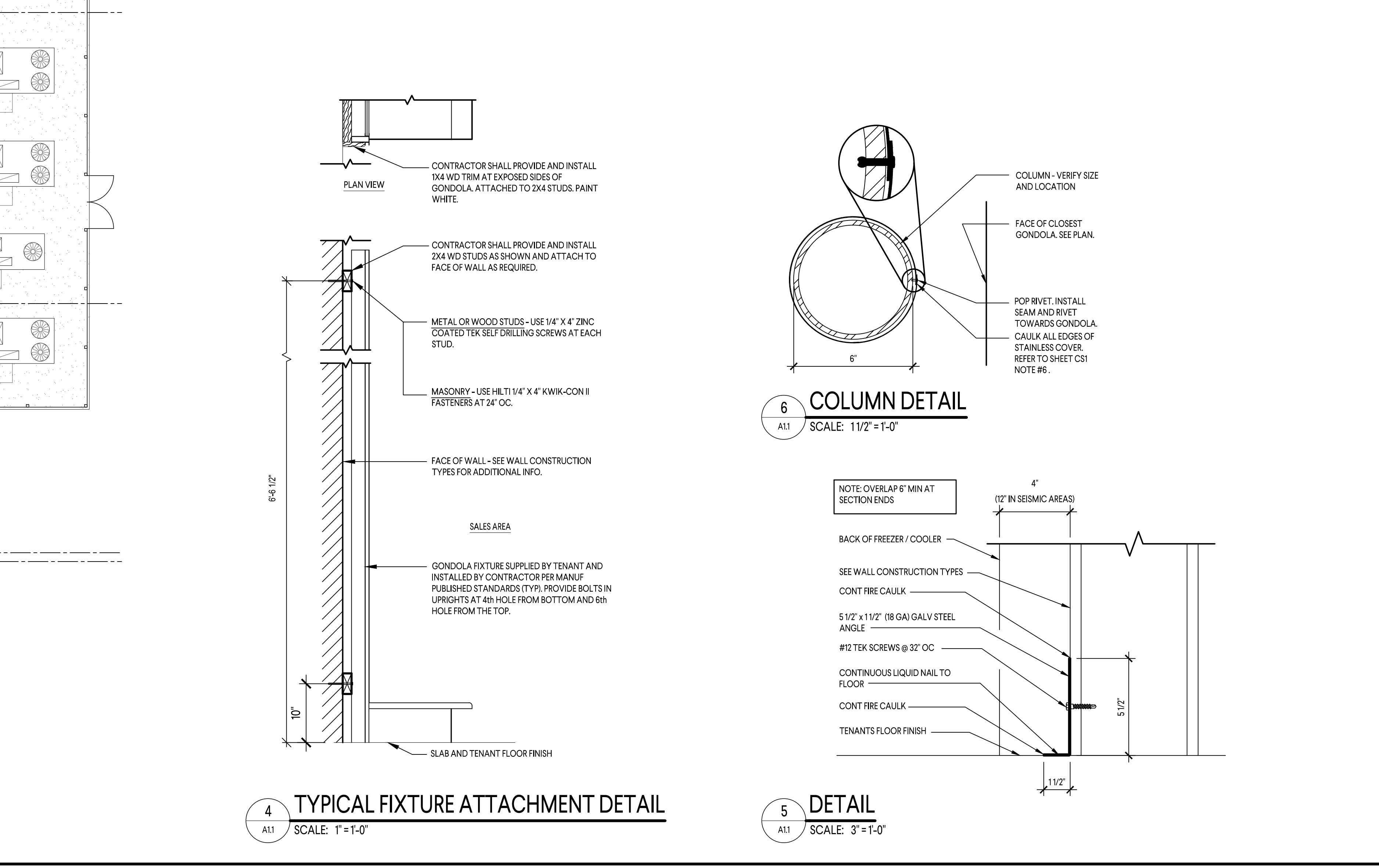
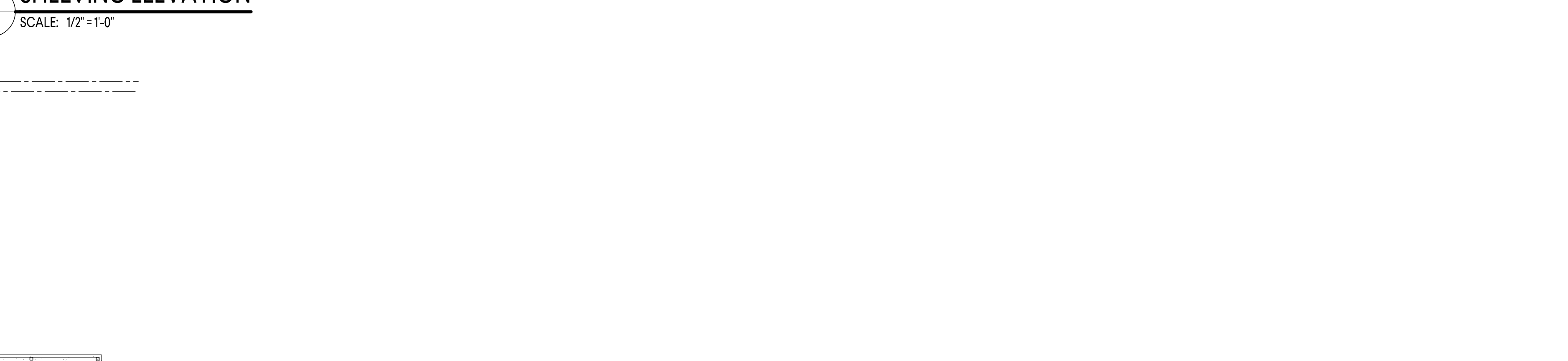
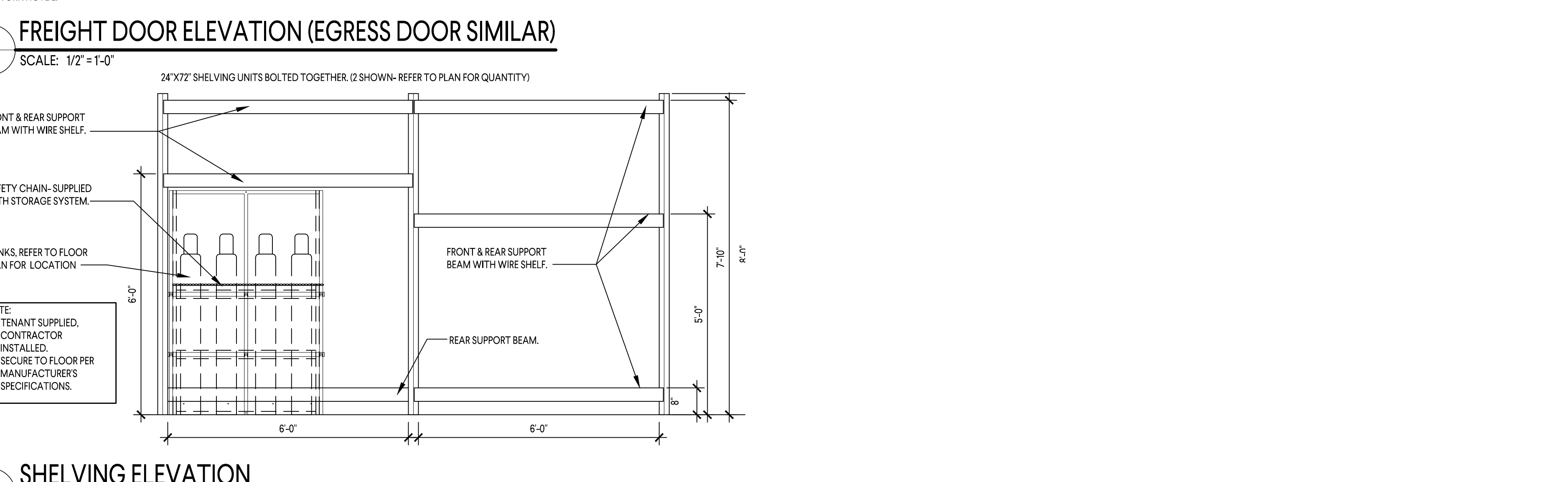
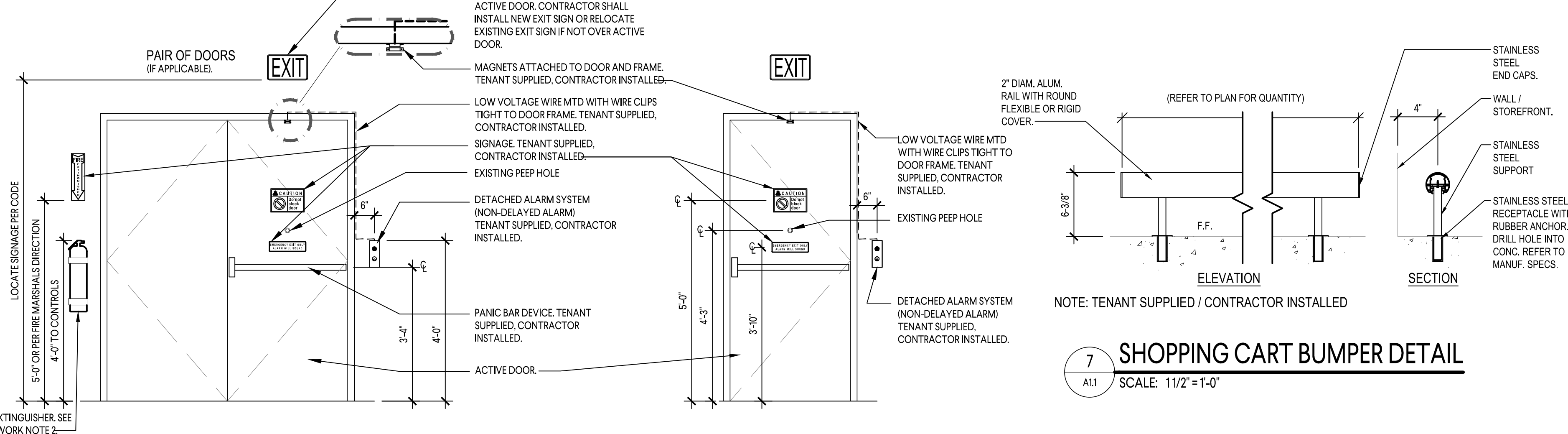
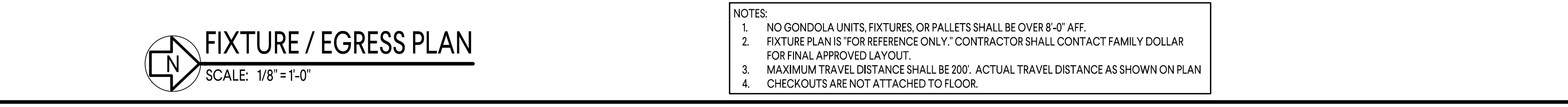
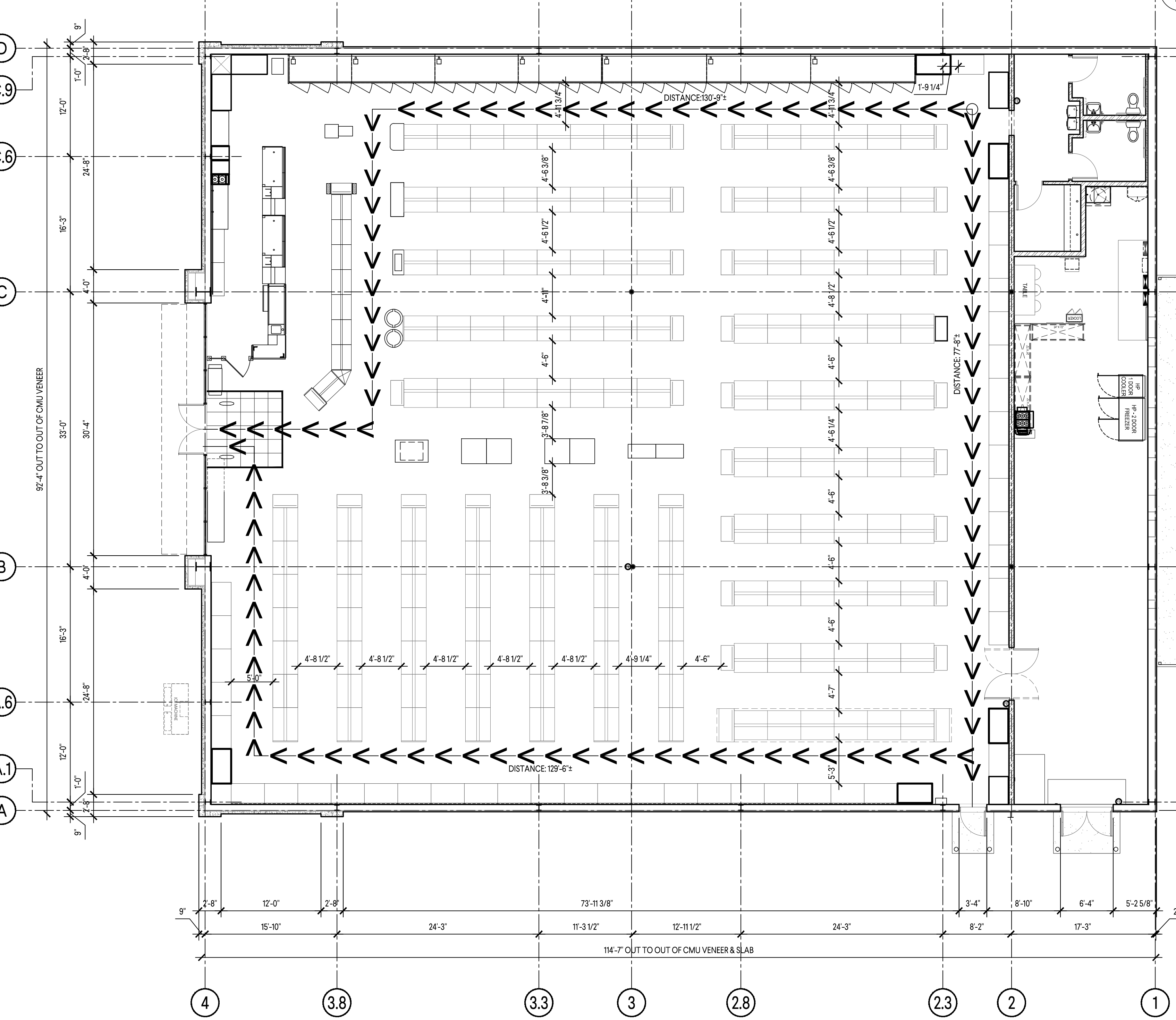
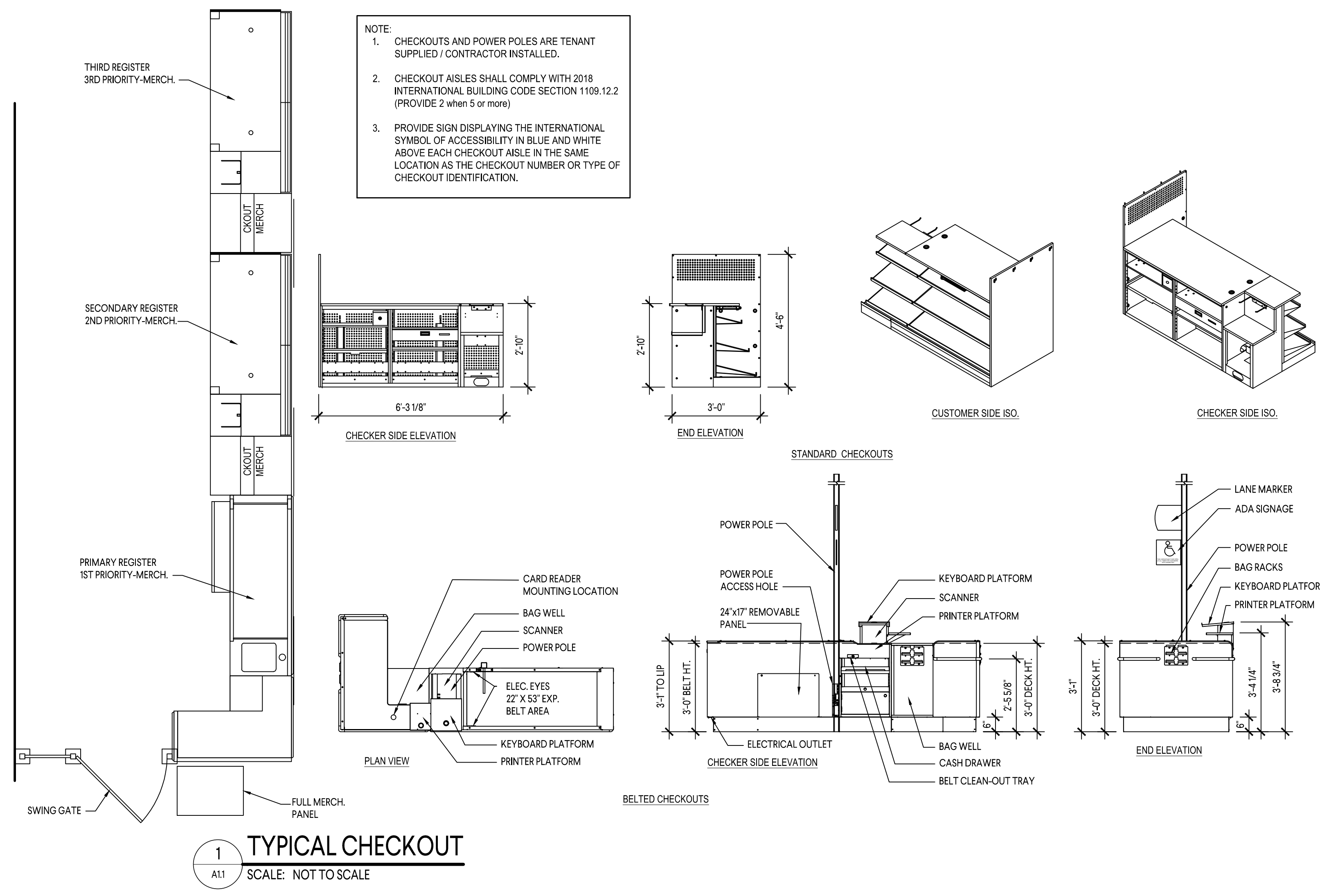


**FAMILY DOLLAR - AS-IS**  
**GENERAL INFORMATION:**  
 SHOPPING CENTER: 169 RIPLEY AVENUE  
 CITY: ASHLAND MS  
 STATE / PROVINCE: MS  
 CEILING HEIGHT: 11'-10"  
 (SALES AREA)  
 SPRINKLERED: NO  
**SQUARE FOOTAGES**  
 TOTAL SPACE LEASED: 10539 SF  
 SALES FLOOR AREA: 8940 SF 15.2%  
 NON-SALES AREA: 1599 SF 8.1%  
 USABLE SALES FLOOR: 8604 SF  
 DECK HEIGHT: 18'-4"

### WALL CONSTRUCTION TYPES

- P1** - EXISTING STOCKROOM WALL: 6" (20 GAUGE) METAL STUDS @ 16" O.C. W/ ONE LAYER 5/8" GYPSUM BOARD TO ROOF PANELS ON EACH SIDE. FINISH PER FINISH SCHEDULE ON SHEET A1.
- P2** - EXISTING PARTITION WALL: 6" (20 GAUGE) METAL STUDS @ 16" O.C. W/ ONE LAYER 5/8" GYPSUM BOARD TO ROOF PANELS ON STOCKROOM SIDE & TO 8'-0" A.F.F. ON TOILET / OFFICE SIDE. FINISH PER FINISH SCHEDULE ON SHEET A1.
- P3** - EXISTING PARTITION WALL: 3 1/2" (20 GAUGE) METAL STUDS @ 16" O.C. W/ ONE LAYER 5/8" GYPSUM BOARD TO 8'-0" A.F.F. ON TOILET / OFFICE SIDE & TO 8'-6" ON HALLWAY SIDE. FINISH PER FINISH SCHEDULE ON SHEET A1.
- P4** - EXISTING PLUMBING WALL: 6" (20 GAUGE) METAL STUDS @ 16" O.C. W/ ONE LAYER 5/8" WATER RESISTANT GYPSUM BOARD EACH SIDE TO 8'-0". FINISH PER FINISH SCHEDULE ON SHEET A1.
- P5** - EXISTING FURRING WALL: 2 1/2" (20 GAUGE) METAL STUDS @ 16" O.C. FLUSH AGAINST EXTERIOR WALL GYPSUM BOARD W/ ONE LAYER 5/8" WATER RESISTANT GYPSUM BOARD ON EXPOSED SIDE TO 8'-0". FINISH PER FINISH SCHEDULE ON SHEET A1.

**NOTES:**  
 EXTERIOR WALL CONSTRUCTION: 5/8" GYP BOARD OVER METAL BUILDING FRAME OVER METAL PANELS OR BLOCK AND EPS.



NOTE:  
 1. CHECKOUTS AND POWER POLES ARE TENANT SUPPLIED / CONTRACTOR INSTALLED.  
 2. CHECKOUT AISLES SHALL COMPLY WITH 2018 INTERNATIONAL BUILDING CODE SECTION 1109.12.2 (PROVIDE 2 when 5 or more)  
 3. PROVIDE SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN BLUE AND WHITE ABOVE EACH CHECKOUT AISLE IN THE SAME LOCATION AS THE CHECKOUT NUMBER OR TYPE OF CHECKOUT IDENTIFICATION.

2 FREIGHT DOOR ELEVATION (EGRESS DOOR SIMILAR)  
 A11 SCALE: 1/2" = 1'-0"

3 SHELVING ELEVATION  
 A11 SCALE: 1/2" = 1'-0"

7 SHOPPING CART BUMPER DETAIL  
 A11 SCALE: 1 1/2" = 1'-0"

1 TYPICAL CHECKOUT  
 A11 SCALE: NOT TO SCALE

4 TYPICAL FIXTURE ATTACHMENT DETAIL  
 A11 SCALE: 1" = 1'-0"

5 DETAIL  
 A11 SCALE: 3" = 1'-0"

6 COLUMN DETAIL  
 A11 SCALE: 1 1/2" = 1'-0"

NOTES:  
 1. NO GONDOLA UNITS, FIXTURES, OR PALLETS SHALL BE OVER 8'-0" AFF.  
 2. FIXTURE PLANS FOR REFERENCE ONLY; CONTRACTOR SHALL CONTACT FAMILY DOLLAR FOR FINAL APPROVED LAYOUT.  
 3. MAXIMUM TRAVEL DISTANCE SHALL BE 200'. ACTUAL TRAVEL DISTANCE AS SHOWN ON PLAN. CHECKOUTS ARE NOT ATTACHED TO FLOOR.  
 4. CHECKOUTS ARE NOT ATTACHED TO FLOOR.

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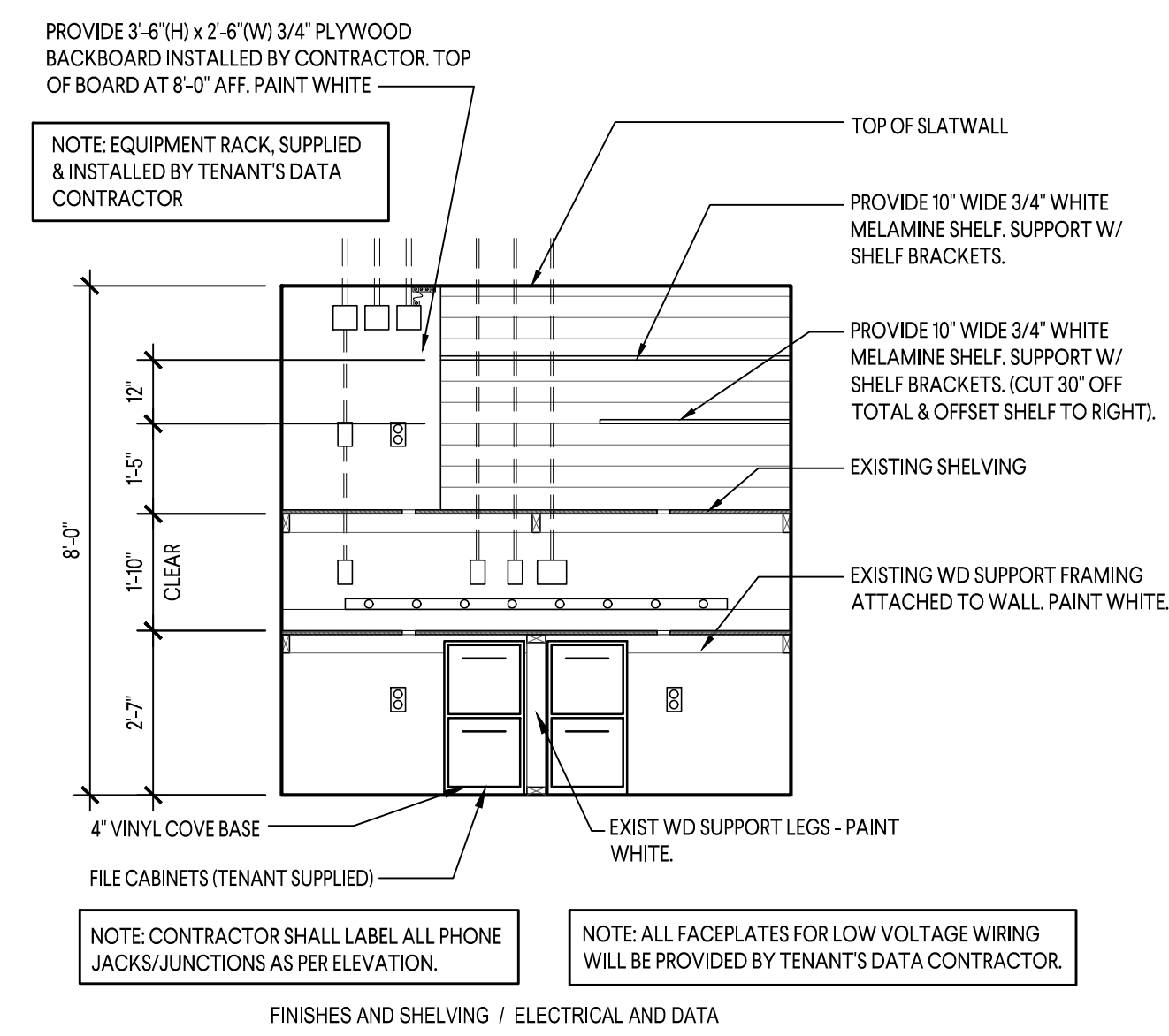
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<b>GMC</b>				
GOODWYN MILLS CAWOOD 11 NORTH WATER STREET, SUITE 15250 MOBILE, AL 36602 T 251-460-4006 GMCNETWORK.COM				
<b>FAMILY DOLLAR</b> <b>ASHLAND, MISSISSIPPI</b> TENANT BUILDOUT SET - VANILLA BOX UNDER SEPARATE PERMIT DEAL # 801694				
A1.1				



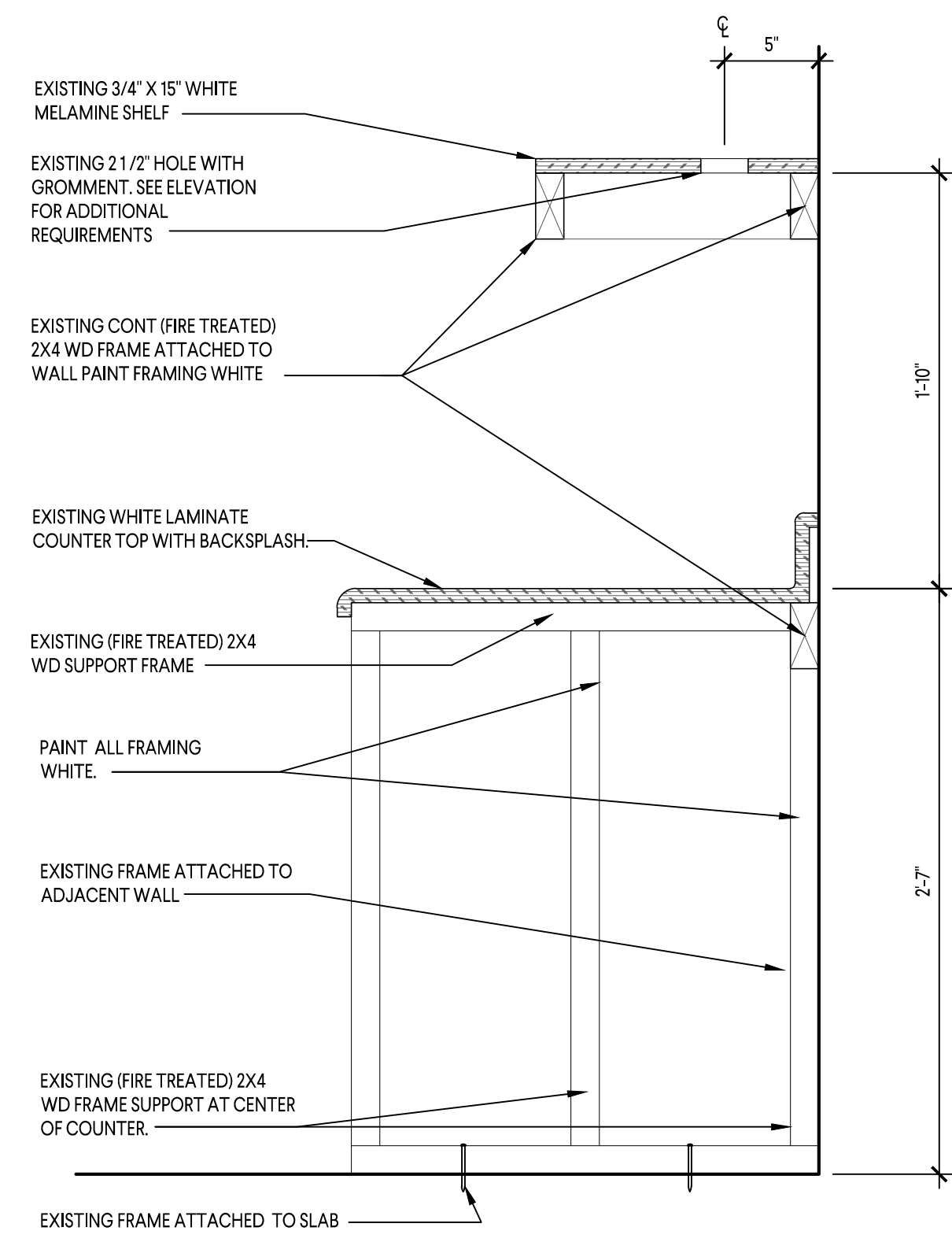




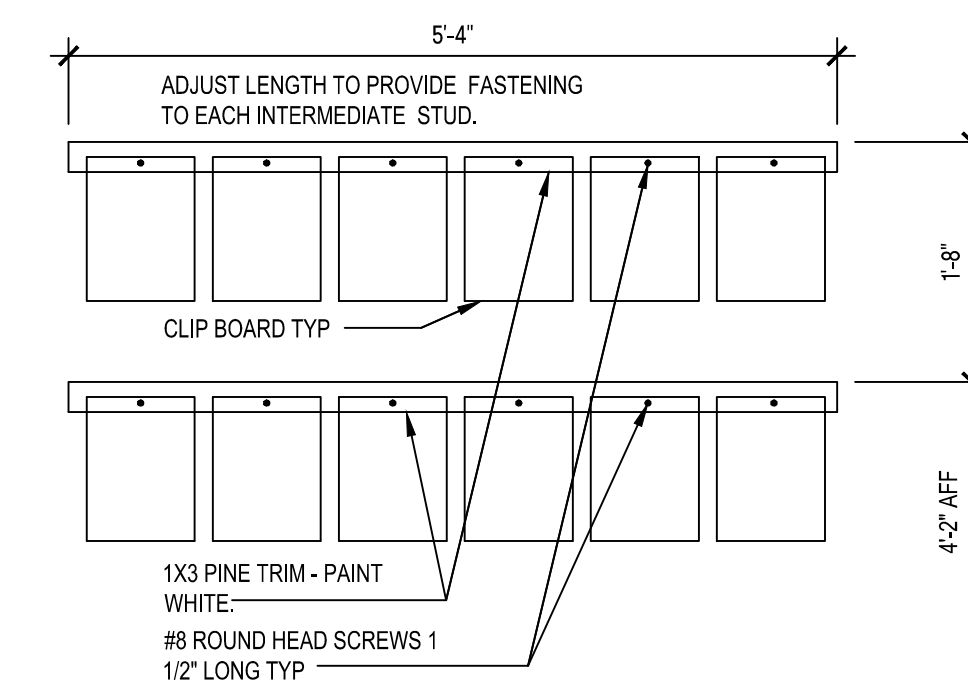
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1 OFFICE ELEVATION  
A13 SCALE: 3/8" = 1'-0"



2 SECTION  
A13 SCALE: 1 1/2" = 1'-0"



3 CLIP BOARD RACK ELEVATION  
A13 SCALE: 3/4" = 1'-0"

ISSUE DATE: 11-30-2021	PROJECT #: AM08210087
DESIGNED: MMA	BY
DRAWN: EMH	DATE
CHECKED: MMA	REVISION LOG

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**GMC**  
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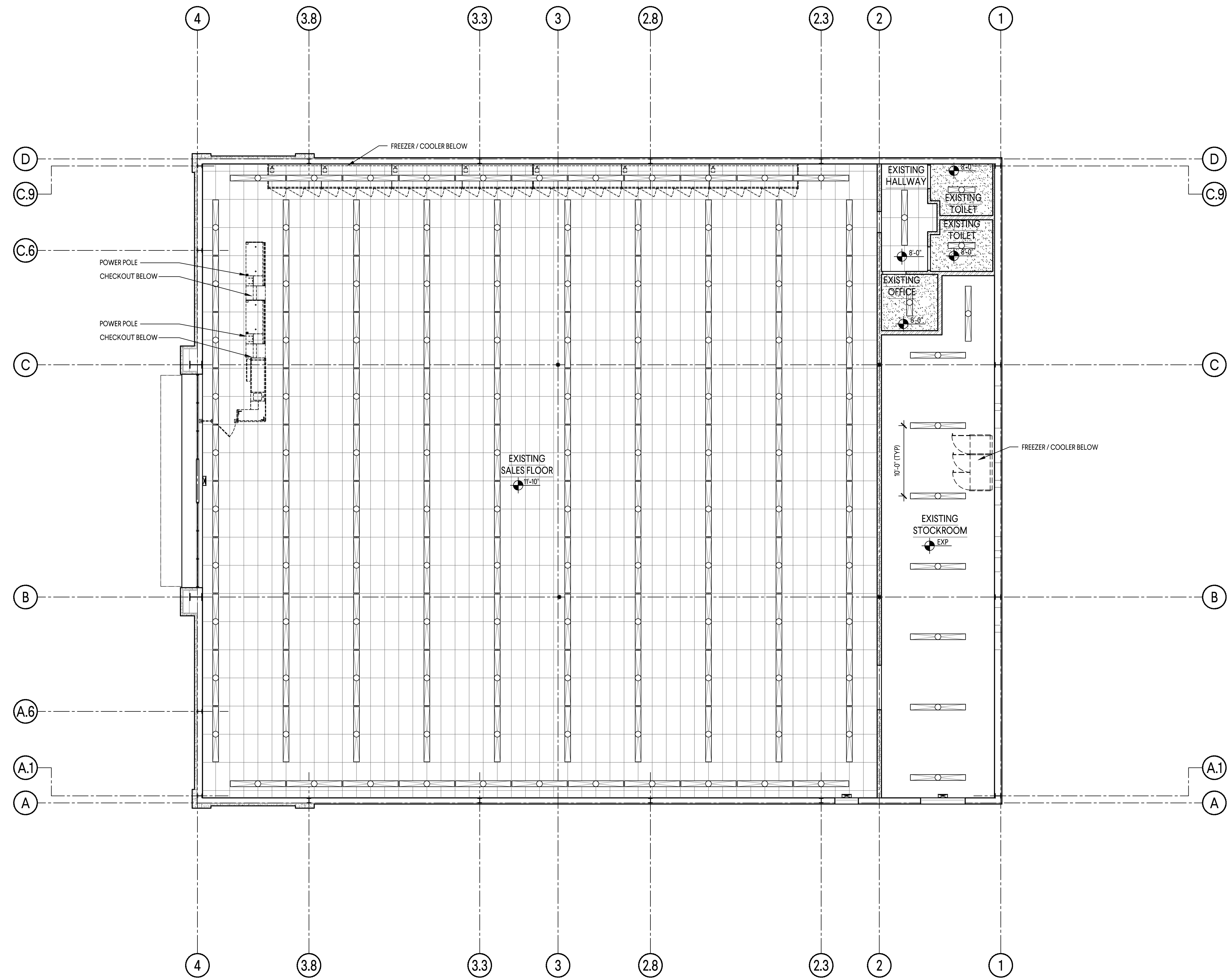


**FAMILY & DOLLAR**  
ASHLAND, MISSISSIPPI  
TENANT BUILDOUT SET - VANILLA BOX UNDER SEPARATE PERMIT  
DEAL # 801694

OFFICE ELEVATION & DETAILS  
**A1.3**



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**REFLECTED CEILING PLAN**  
SCALE: 1/8" = 1'-0"

**REFLECTED CEILING PLAN LEGEND**

	EXISTING 2'-0" x 4'-0" ACOUSTICAL CEILING TILE AND GRID - SEE FINISH SCHEDULE FOR SPECIFICATIONS.
	EXISTING GYPSUM BOARD CEILING - PAINT PER FINISH SCHEDULE
	EXISTING 8'-0" STRIP LED LIGHT FIXTURE - SURFACE MOUNT TO CEILING (CHAIN HUNG TO 10'-0" IN STOCKROOM)
	EXISTING 4'-0" STRIP LED LIGHT FIXTURE - SURFACE MOUNT TO CEILING
	EXISTING EXIT LIGHT - SEE ELECTRICAL
	EXISTING CEILING HEIGHT ABOVE FINISH FLOOR
	POWER POLE

NOTES:  
1. POLES (LUCI) ARE TENANT SUPPLIED / CONTRACTOR INSTALLED.  
2. PRESALES LIGHTS MOUNTED AT 10'-0" AFF.

REFLECTED CEILING PLAN **A2**

TENANT BUILDOUT SET - VANILLA BOX UNDER SEPARATE PERMIT  
DEAL # 801694

**FAMILY DOLLAR**  
ASHLAND, MISSISSIPPI

**GMC**  
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ISSUE DATE: 11-30-2021  
PROJECT #: AM03210087  
DESIGNED: MMA  
DRAWN: EMH  
CHECKED: MMA

REVISION LOG

MARK	DATE	BY	DESCRIPTION



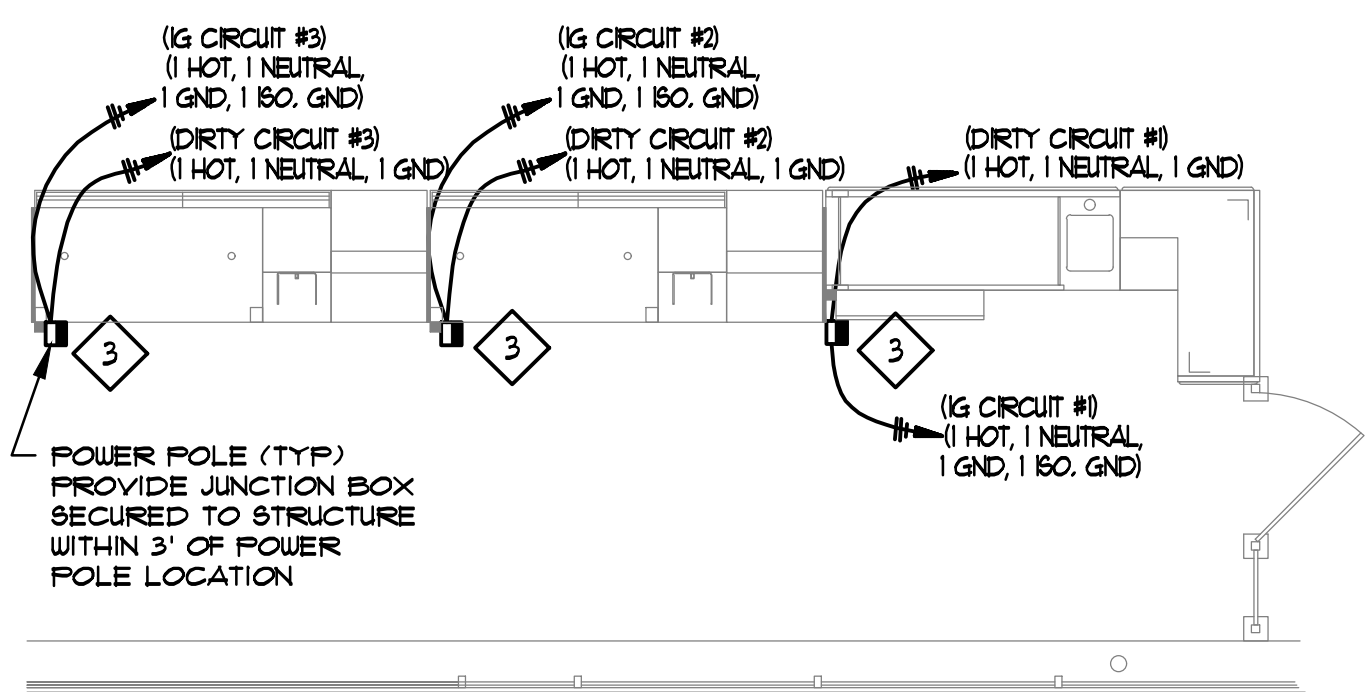








CONTRACTOR SHALL REFER TO FINAL FIXTURE PLAN FOR KIOSK PLACEMENT (APP STATION), ATM MACHINE PLACEMENT, FREEZER/COOLER PLACEMENT, CHECKOUT PLACEMENT, AND ANY OTHER FIXTURE THAT REQUIRES POWER PRIOR TO INSTALLING ELECTRICAL & DATA



2 TYPICAL CHECKOUT STATIONS POWER/DATA DETAIL  
E-1 SCALE: NONE

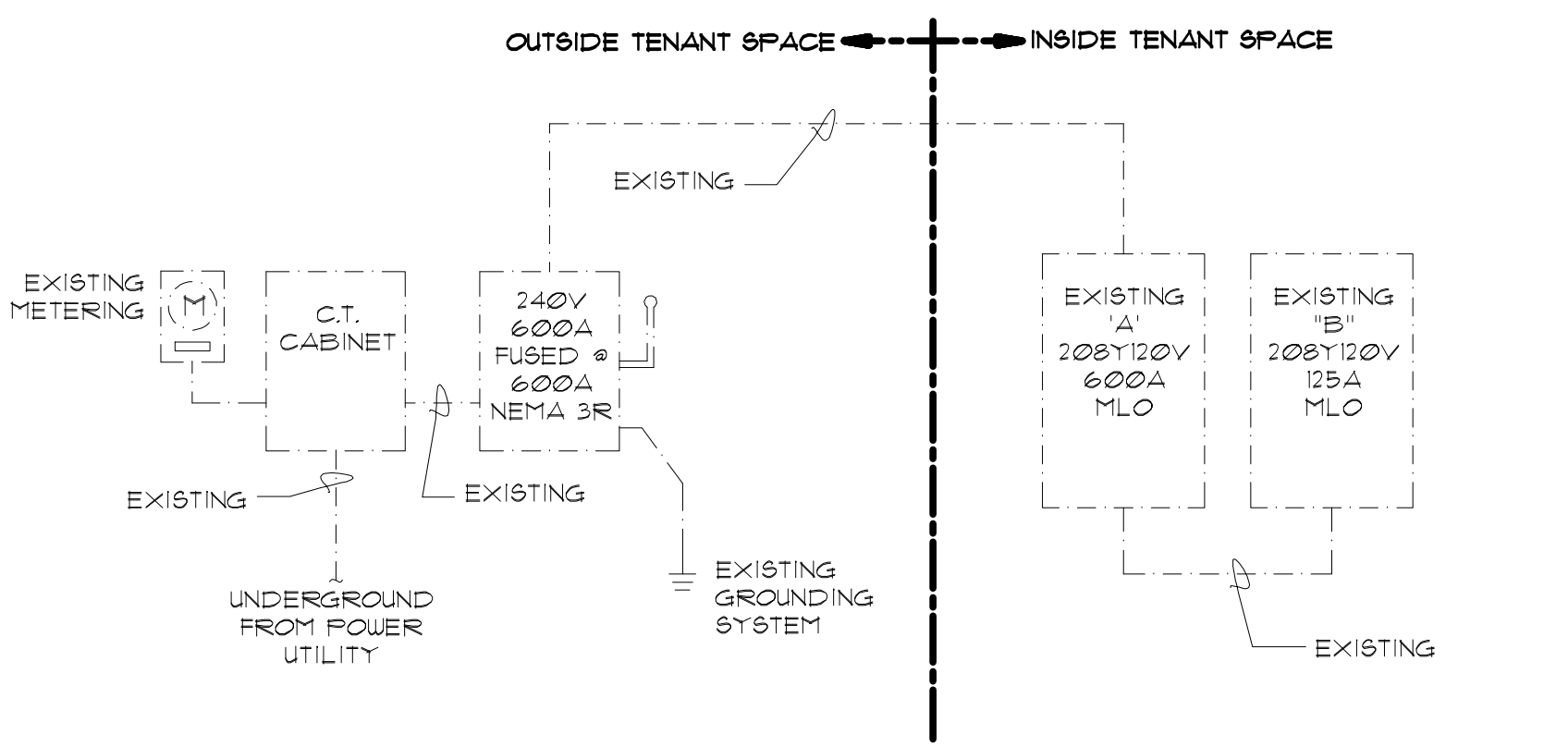
CHECKOUT STATIONS POWER/DATA NOTES:

1. DIP POWER POLES ARE BEING FURNISHED WITH CHECKOUT COUNTERS. POWER POLES SHALL BE INSTALLED AND WIRED BY CONTRACTOR.
2. FIELD VERIFY LOCATION OF ALL POWER POLES AND JUNCTION BOXES WITH PD PROJECT MANAGER AND PD'S FINAL SITE SPECIFIC FIXTURE PLAN PRIOR TO BEGINNING ROUGH-IN. JUNCTION BOXES SHALL BE LOCATED WITHIN 3' OF POWER POLES.
3. LABEL ALL JUNCTION BOXES WITH CIRCUIT NUMBER AND DESCRIPTION AS SHOWN IN PANEL SCHEDULE.
4. ALL DIRTY AND ISOLATED GROUND (IG) CIRCUITS SHALL HAVE DEDICATED NEUTRALS. DO NOT SHARE NEUTRALS.

POWER/WIRING INFORMATION FOR COOLER/FREEZER EQUIPMENT

DEVICE*	DISCONNECT SIZE	CONDUIT/WIRE SIZE	FEEDER PANEL	FEEDER BREAKER(S)
C1	JUNCTION BOX • 100" AFF W/10" WHIP	1/2" (3.75 4 (1.75 GND.**		8
C2	JUNCTION BOX • 100" AFF W/10" WHIP	1/2" (3.75 4 (1.75 GND.**		8
C3	JUNCTION BOX • 100" AFF W/10" WHIP	1/2" (3.75 4 (1.75 GND.**		8
C4	JUNCTION BOX • 100" AFF W/10" WHIP	1/2" (3.75 4 (1.75 GND.**		8
C5	JUNCTION BOX • 100" AFF W/10" WHIP	1/2" (2.75 4 (1.75 GND.		8
F1	JUNCTION BOX • 100" AFF W/10" WHIP	3/4" (3.75 4 (1.75 GND.**		8
F2	JUNCTION BOX • 100" AFF W/10" WHIP	3/4" (3.75 4 (1.75 GND.**		8
F3	JUNCTION BOX • 100" AFF W/10" WHIP	3/4" (3.75 4 (1.75 GND.**		8
F4	JUNCTION BOX • 100" AFF W/10" WHIP	3/4" (3.75 4 (1.75 GND.**		7

\* FOR WALK-IN COOLER/FREEZER LIGHTS  
NOTE: ALL DIMENSIONS ARE TO THE TOP OF THE ASSOCIATED DEVICE. AS PART OF THIS PROJECT, THE MANUFACTURER'S REPRESENTATIVE WILL MAKE THE FINAL CONNECTION TO INTEGRAL EQUIPMENT DISCONNECTS AT TIME OF STARTUP.  
\*\*INCLUDES: (2) HOT, (1) NEUTRAL, & (1) GROUND



1 RISER DIAGRAM  
E-1 SCALE: NONE

NOTE: ALL EXISTING COMPONENTS OF THIS ELECTRICAL RISER ARE TO REMAIN AS INSTALLED AND ARE SHOWN FOR REFERENCE ONLY.

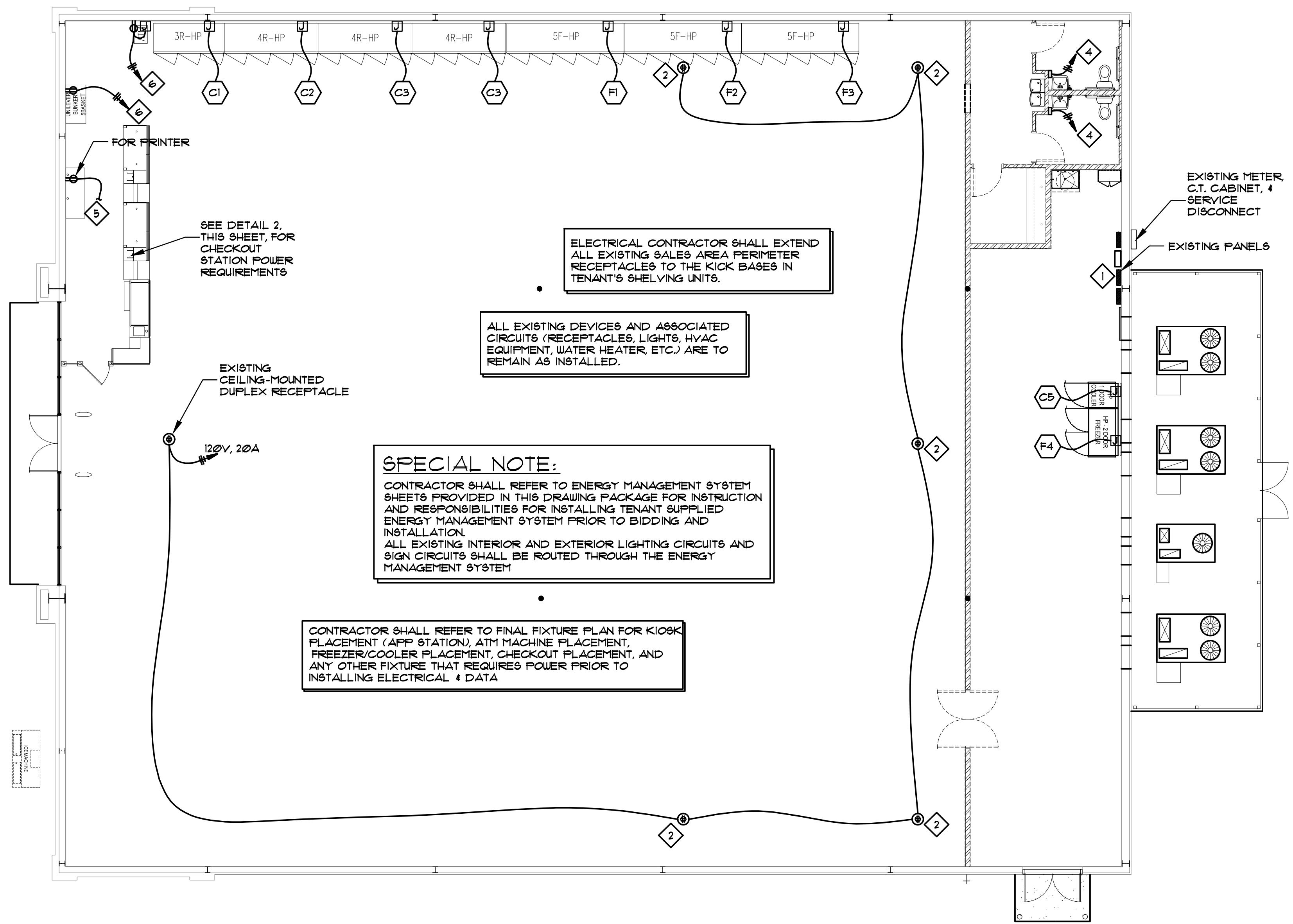
- RISER LEGEND**
- - - DASH DOT LINE TYPE INDICATES EXISTING EQUIPMENT TO REMAIN
  - HIDDEN LINE TYPE INDICATES EQUIPMENT FURNISHED AND INSTALLED BY LANDLORD
  - CONTINUOUS LINE TYPE INDICATES NEW EQUIPMENT TO BE INSTALLED
  - PHANTOM LINE TYPE INDICATES EXISTING EQUIPMENT TO BE RELOCATED

PROJECT NOTES:

1. EXISTING PANELS ARE SHOWN FOR REFERENCE. ALL WORK NOTED WITHIN THIS DRAWING IS BEING CONNECTED TO EXISTING PANELS AS PROVIDED IN THE LANDLORD'S SCOPE OF WORK. CONTRACTOR TO REPORT ANY DISCREPANCIES THAT CAN NOT BE RESOLVED IN THE FIELD TO THE ENGINEER FOR FURTHER INSTRUCTION AND/OR POSSIBLE REDESIGN OF AFFECTED ITEMS.
2. NEW DUPLEX OUTLETS TO BE MOUNTED IN CEILING AND ALL SHALL BE WIRED TO EXISTING 120V, 20A BREAKER PROVIDED IN LANDLORD'S SCOPE OF WORK. VERIFY LOCATIONS OF OUTLETS PRIOR TO INSTALLATION.
3. AT THE EXISTING JUNCTION BOXES/CIRCUITS PROVIDED BY THE LANDLORD, CONNECT TENANT-PROVIDED POWER POLES TO DEDICATED AND ISOLATED DEDICATED CIRCUITS.
4. CONNECT HAND DRYER TO EXISTING JUNCTION BOX/CIRCUIT PROVIDED BY LANDLORD.
5. CONNECT TO EXISTING SHOW-WINDOW RECEPTACLE CIRCUIT.
6. CONTRACTOR TO PROVIDE AND INSTALL NEW 20A, SINGLE-POLE CIRCUIT BREAKER AS REQUIRED FOR THE NEW EQUIPMENT SHOWN.
7. CONTRACTOR TO PROVIDE AND INSTALL NEW 30A, 2-POLE CIRCUIT BREAKER AS REQUIRED IN THE 208Y120V MAIN PANEL FOR THE NEW FREEZER EQUIPMENT SHOWN.
8. CONTRACTOR TO PROVIDE AND INSTALL NEW 40A, 2-POLE CIRCUIT BREAKERS AS REQUIRED IN THE 208Y120V MAIN PANEL TO FEED THE NEW FREEZER EQUIPMENT SHOWN.
9. CONTRACTOR TO PROVIDE AND INSTALL NEW 20A, 2-POLE CIRCUIT BREAKER AS REQUIRED FOR THE NEW COOLER EQUIPMENT SHOWN.

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70, NATIONAL ELECTRICAL CODE. ALL ITEMS ARE ON AN OR EQUAL BASIS.
2. ALL SINGLE PHASE BRANCH CIRCUITS (RECEPTACLES, LIGHTING, ETC.) ARE 1/2" CONDUIT OR EMT WITH (3/4" OR MC CABLE TO THE EXTENT ALLOWED BY NEC AND THE LOCAL AUTHORITIES. ALL CONDUCTORS TO BE THIN, 90°C WIRING. ALL OTHER CONDUIT AND WIRING SHALL BE AS INDICATED ON THE PLANS. ACTUAL ROUTING AND HOTOERIN GROUPINGS ARE TO BE DETERMINED IN THE FIELD.
3. ELECTRICAL DRAWINGS ARE DIAGRAMMATIC EXCEPT FOR DETAILS AND ELEVATIONS. DO NOT SCALE FROM DIAGRAMMATIC DRAWINGS. EXACT LOCATIONS OF DEVICES AND PANELS ARE TO BE DETERMINED AND ROUGHED-IN DURING CONSTRUCTION TO AVOID INTERFERENCE TO MEET USER REQUIREMENTS, TO PROVIDE ADEQUATE MOUNTING, AND TO MEET NEC LINEAR ACCESS AND CLEARANCE REQUIREMENTS.
4. BACK TO BACK MOUNTING OF RECEPTACLES IS NOT PERMITTED.
5. IN ADDITION TO THE NEC REQUIREMENTS FOR GFCI RATED RECEPTACLES, THE FOLLOWING RECEPTACLES SHALL ALSO BE GFCI RATED: (1)-ALL RECEPTACLES LOCATED WITHIN 6 FEET OF A SINK, (2)-ALL RECEPTACLES WHICH ARE PROVIDED FOR CONVENIENCE IN SERVICING HVAC EQUIPMENT REGARDLESS OF LOCATION, EITHER INDIVIDUAL GFCI DEVICES OR GFCI CIRCUIT BREAKERS ARE ACCEPTABLE BUT RECEPTACLES PROVIDED BY CIRCUIT BREAKERS OR OTHER GFCI DEVICES SHALL BE CLEARLY MARKED AS GFCI AND THE SOURCE OF PROTECTION SHOWN.
6. PROVIDE A LAMICOID NAMEPLATE (WHITE LETTERS ON BLACK BACKGROUND) ON EACH PANELBOARD, MOTOR STARTER, CONTACTOR, TRANSFORMER, ETC. LETTERS SHALL BE 0.15 INCH MINIMUM.
7. CONTRACTOR SHALL CUT AS REQUIRED TO INSTALL ELECTRICAL EQUIPMENT. REPAIR OF FLOOR OR WALLS SHALL BE COORDINATED WITH GENERAL CONTRACTOR. CONTRACTOR SHALL ALSO REPAIR ALL OPENINGS LEFT DUE TO EQUIPMENT REMOVAL.
8. CONDUCTORS ARE AWG#2 COPPER UNLESS OTHERWISE SHOWN. ALL CONDUCTORS LARGER THAN #8 SHALL BE STRANDED. RUNS IN EXCESS OF 90'-10' (ONE WAY) SHALL BE SIZED PER THE NATIONAL ELECTRICAL CODE MAXIMUM 2% VOLTAGE DROP.
9. PANELBOARDS SHALL CONTAIN A TYPEWRITTEN DIRECTORY WITH A PLASTIC COVER AFFIXED TO THE INSIDE DOOR.
10. ALL FIXTURES, DEVICES, CONDUIT, AND EQUIPMENT SHALL BE SECURED WITH APPROVED HANGERS AND ANCHORS AND IN ACCORDANCE WITH APPROVED STANDARDS OF INSTALLATION.
11. ALL BREAKERS SHOWN IN THE PANELBOARD SCHEDULE SHALL BE RATED AS SHOWN FOR BOTH CIRCUIT CAPACITY AND FAULT CURRENT INTERRUPTING CAPACITY.
12. ALL PANELBOARDS, DISCONNECT SWITCHES, MOTOR STARTERS, AND CONTACTORS SHALL BE NEMA 1, UNLESS OTHERWISE NOTED.
13. ELECTRICAL CONTRACTOR MUST BE AVAILABLE AT TIME OF DBS INSPECTION. COORDINATE WITH GENERAL CONTRACTOR.



ELECTRICAL PLAN  
SCALE: 1/8"=1'-0"

301 Industrial Blvd.  
Tulahoma, TN 37388  
Office: 931.464.9940  
2605 Elm Hill Pike/51C  
Nashville, TN 37214  
Office: 615.678.6022  
oigengineering.com

Oliver • Little • Gipson  
**OIG**  
Engineering, Inc.

ISSUE DATE: 11-30-2021  
PROJECT #: 643721  
DESIGNED: TMLADG  
DRAWN: DAB/DWB  
CHECKED: TMLADG

REVISION LOG

MARK	DATE	DESCRIPTION

**GMC**  
GOODWIN MILLS CAWOOD  
11 NORTH WATER STREET, SUITE 10250  
MOBILE, AL 36602  
T 251-460-4008  
GMCNETWORK.COM

ANTHONY D. GIBSON  
Professional Engineer  
15463  
STATE OF MISSISSIPPI

**FAMILY DOLLAR**  
ASHLAND, MISSISSIPPI  
TENANT BUILDOUT SET - VANILLA BOX UNDER SEPARATE PERMIT  
DEAL # 801694

LAST SAVED: 05/08/2021 10:07:36 AM W. L33\_21\_Emmy Collins: 4452712 Shopping Center Phg 810864 - Ashland, MS: 05/08/2021 Design: Drawing: 643721\_E.dwg

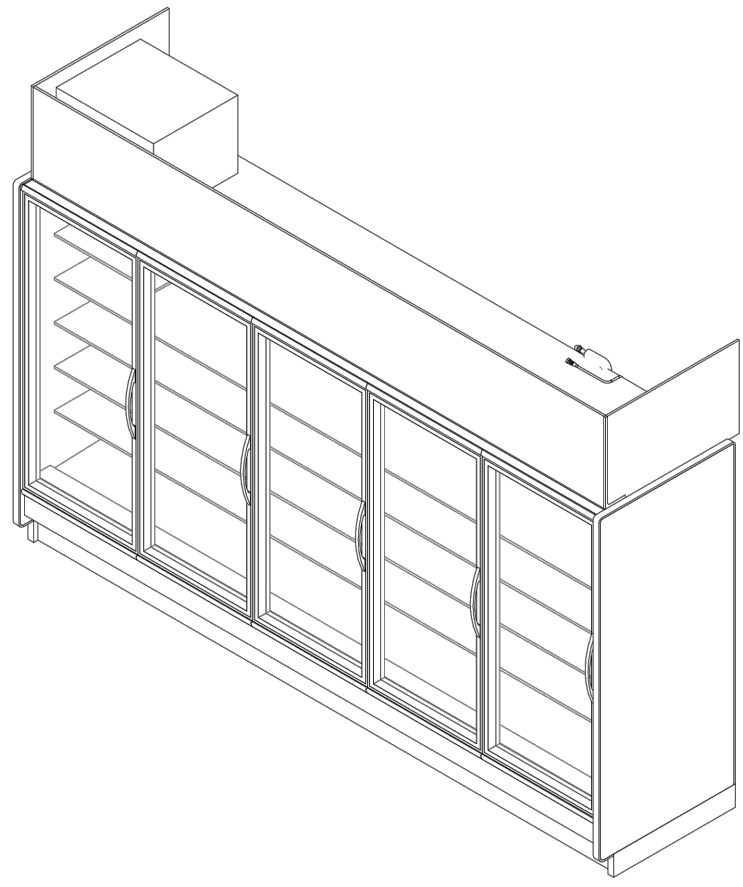


**JNRBHSA**

High Narrow Reach-In Self Contained Merchandiser  
1, 2, 3, 4, 5 Door & 4' (Dairy/Deli/Beverage)

**GENERAL NOTES:**

- Lighting Controls and Anti-Sweat Heat Controls are Required
- Option 1: OEM Provided: Occupancy Sensor Based Lighting Controls (On/Off) & Hilphoenix provided embedded Anti-Sweat Controls are standard, unless otherwise specified
- Option 2: End User Provided: Lighting Controls should be Occupancy Sensor Based or on a minimum 8 Hour Off Schedule. Customer provided A/S Heat Controls should be set to 30% minimum off time at 75°F/55%RH
- 1 Door & 4' case lengths available in 208V R448A condensing unit configuration.
- 2, 3, 4 & 5 door case lengths available in 208V R404A/R448A condensing unit configuration.



**SHIPPING WEIGHT**

Case	Weight
JNRBHSA	---



ALL MEASUREMENTS ARE TAKEN PER ASHRAE 2008 SPECIFICATIONS. HILPHOENIX REFRIGERATED DISPLAY CASES FOR SALE IN THE UNITED STATES MEET OR EXCEED DEPARTMENT OF ENERGY 2017 REQUIREMENTS.

**JNRBHSA**

Rev. Date	Rev. #	Rev. Title
10-16-19	11	DATA UPDATE
10-16-19	10	ENDVIEW UPDATE



**JNRBHSA (R404A)**

High Narrow Reach-In Self Contained Merchandiser  
1, 2, 3, 4, 5 Door & 4' (Dairy/Deli/Beverage)

**SYSTEM REQUIREMENT (R-404A REFRIGERANT)**

Case Length	Volts	Phase	Frequency	Minimum Circuit Ampacity (MCA)	Maximum Overcurrent Protection (MOP)
2 Door	208	1	60	16.9	20
3 Door	208	1	60	16.5	20
4 Door	208	1	60	16.6	20
5 Door	208	1	60	16.4	20

\* 24 Hour Energy values includes evaporator fans, standard LEDs, anti-condensate heat & condensing unit

**GUIDELINES AND CONTROL SETTINGS (R-404A REFRIGERANT)**

Case Length	Application	Superheat Set Point @ Bulb (°F)	Discharge Air (°F)	Set Point Differential (°F)	Discharge Air Velocity (FPM)
2 - 5 Door	Beverage	6 - 8	35	6	230
2 - 5 Door	Dairy	6 - 8	30	6	230
2 - 5 Door	Deli	6 - 8	29	6	230

**CONDENSING UNIT DATA (R-404A REFRIGERANT)**

Case Length	Volts	Phase	Frequency	Horsepower	Running Load Amps (RLA) (Amps)	Locked Rotor Amps (LRA) (Amps)	Refrigerant	Lbs. of Refrigerant
2 Door	208	1	60	1/3	4.2	16.8	R404A	2.2
3 Door	208	1	60	1/3	4.2	16.8	R404A	2.6
4 Door	208	1	60	1/3	4.2	16.8	R404A	3.0
5 Door	208	1	60	1/2	5.3	26.5	R404A	3.5

**DEFROST CONTROLS (R-404A REFRIGERANT)**

Case Length	Defrosts Per Day	Run-Off Time (Min)	Fail-Safe (Min)	Termination Temp (°F)
2 - 5 Door	2	0	46	44

**DEFROST SCHEDULE (R-404A REFRIGERANT)**

Defrosts Per Day	Time
2	12 a.m. - 12 p.m.

**NOTES:**

- "---" indicates that this feature is not an option on this case model.
- Listed discharge air velocity represents the average velocity at the peak of defrost.
- Temperature and defrost settings listed below are recommended start-up settings. Final operational settings may need to be adjusted for the store conditions in which the case operates.
- The recommended evaporator temperatures may need to be adjusted based on system setup, store conditions, etc. The minimum recommended evaporator temperature is 4°F below the listed evaporator temperature.
- The 24 Hour Energy Value is based upon AHRI 1200 test conditions with Hilphoenix provided Lights, occupancy sensor based (on/off) lighting control and dew point based anti-sweat heat controller.



ALL MEASUREMENTS ARE TAKEN PER ASHRAE 2008 SPECIFICATIONS. HILPHOENIX REFRIGERATED DISPLAY CASES FOR SALE IN THE UNITED STATES MEET OR EXCEED DEPARTMENT OF ENERGY 2017 REQUIREMENTS.

**JNRBHSA (R404A)**

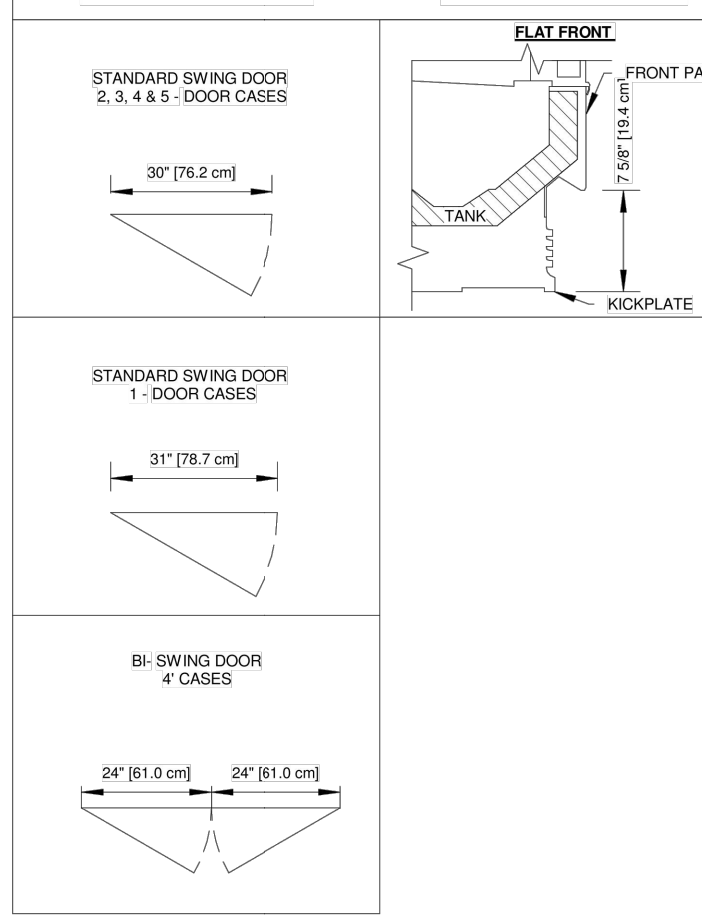
Rev. Date	Rev. #	Rev. Title
10-16-19	11	DATA UPDATE
10-16-19	10	ENDVIEW UPDATE



**JNRBHSA**

High Narrow Reach-In Self Contained Merchandiser  
1, 2, 3, 4, 5 Door & 4' (Dairy/Deli/Beverage)

**DOOR OPTIONS FRONT OPTIONS**



ALL MEASUREMENTS ARE TAKEN PER ASHRAE 2008 SPECIFICATIONS. HILPHOENIX REFRIGERATED DISPLAY CASES FOR SALE IN THE UNITED STATES MEET OR EXCEED DEPARTMENT OF ENERGY 2017 REQUIREMENTS.

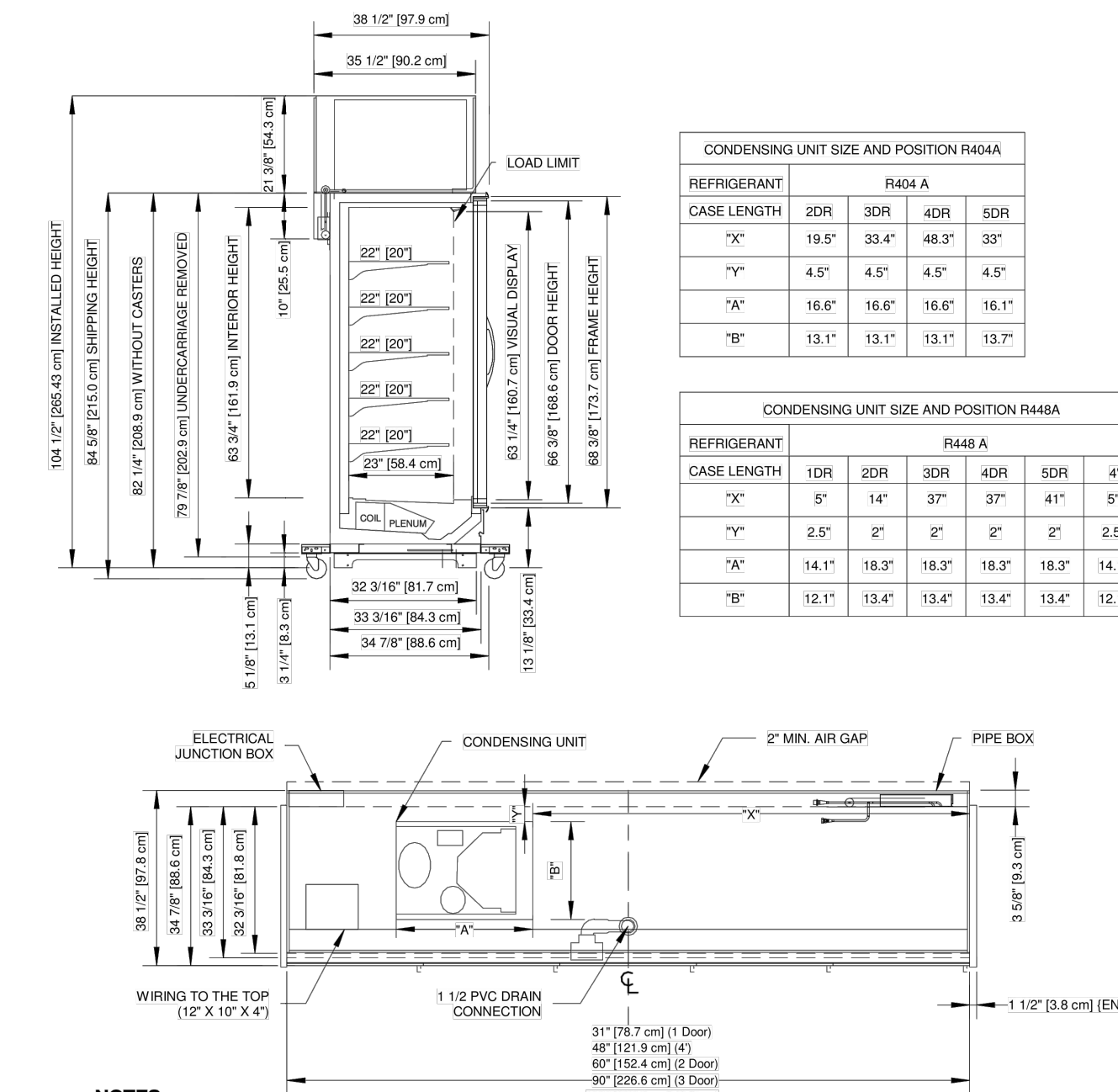
**JNRBHSA**

Rev. Date	Rev. #	Rev. Title
10-16-19	11	DATA UPDATE
10-16-19	10	ENDVIEW UPDATE



**JNRBHSA**

High Narrow Reach-In Self Contained Merchandiser  
1, 2, 3, 4, 5 Door & 4' (Dairy/Deli/Beverage)



**NOTES:**

- STUB-UP AREA
- RECOMMENDED STUB-UP CENTERLINE FOR ELECTRICAL AND HUB DRAINS.
- Specialized Base Frame:
  - Case fits through 80" doorway with shipping undercarriage removed.
  - 2" filling brackets (installed) & 3.25" ship loose risers combine for 5" baseframe once installed.
  - Drain traps ship loose.
  - Ends add approximately 1" to case height, 1/2" to the back & 1" to the front.



ALL MEASUREMENTS ARE TAKEN PER ASHRAE 2008 SPECIFICATIONS. HILPHOENIX REFRIGERATED DISPLAY CASES FOR SALE IN THE UNITED STATES MEET OR EXCEED DEPARTMENT OF ENERGY 2017 REQUIREMENTS.

**JNRBHSA**

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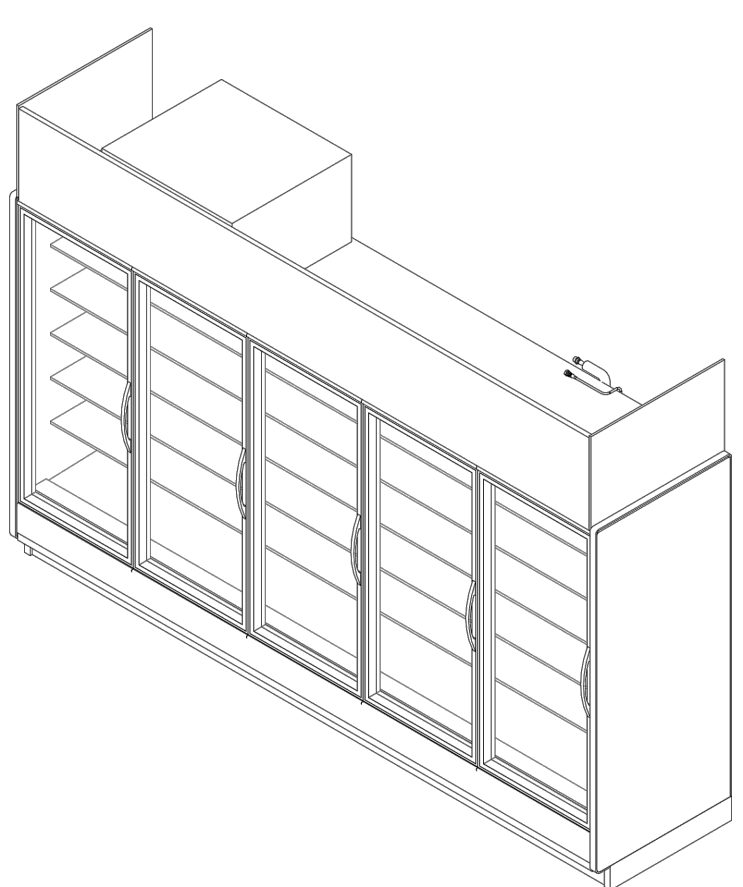


**JNRZHS**

High Narrow Reach-In Self Contained Merchandiser  
2, 3, 4 & 5 Door (Frozen Food)

**GENERAL NOTES:**

- Lighting Controls and Anti-Sweat Heat Controls are Required
- Option 1: OEM Provided: Occupancy Sensor Based Lighting Controls (On/Off) & Hilphoenix provided embedded Anti-Sweat Controls are standard, unless otherwise specified
- Option 2: End User Provided: Lighting Controls should be Occupancy Sensor Based or on a minimum 8 Hour Off Schedule. Customer provided A/S Heat Controls should be set to 30% minimum off time at 75°F/55%RH
- 2, 3, 4 & 5 door case lengths are available in 208V R404A / R448A Condensing Unit Configuration



**SHIPPING WEIGHT**

Case	Weight
JNRZHS	---



ALL MEASUREMENTS ARE TAKEN PER ASHRAE 2008 SPECIFICATIONS. HILPHOENIX REFRIGERATED DISPLAY CASES FOR SALE IN THE UNITED STATES MEET OR EXCEED DEPARTMENT OF ENERGY 2017 REQUIREMENTS.

**JNRZHS**

Rev. Date	Rev. #	Rev. Title
10-17-19	7	ENDVIEW UPDATE
9-12-19	6	DATA UPDATE



**JNRZHS (R404A)**

High Narrow Reach-In Self Contained Merchandiser  
2, 3, 4 & 5 Door (Frozen Food)

**SYSTEM REQUIREMENT (R404A)**

Case Length	Volts	Phase	Frequency	Minimum Circuit Ampacity (MCA)	Maximum Overcurrent Protection (MOP)
2 Door	208	1	60	24.1	30.0
3 Door	208	1	60	24.9	30.0
4 Door	208	1	60	29.8	30.0
5 Door	208	1	60	30.0	30.0

\* 24 Hour Energy values includes evaporator fans, standard LEDs, anti-condensate heat & condensing unit

**GUIDELINES AND CONTROL SETTINGS (R404A)**

Case Length	Superheat Set Point @ Bulb (°F)	Set Point Differential (°F)	Discharge Air (°F)	Discharge Air Velocity (FPM)
2 Door	3 - 5	- 9	- 9	300
3 Door	3 - 5	6	- 9	300
4 Door	3 - 5	6	- 9	300
5 Door	3 - 5	6	- 9	300

**CONDENSING UNIT DATA (R404A)**

Case Length	Volts	Phase	Frequency	Horsepower	Running Load Amps (RLA) (Amps)	Locked Rotor Amps (LRA) (Amps)	Refrigerant	Lbs. of Refrigerant
2 Door	208	1	60	3/4	9.0	43.0	R404A	2.8
3 Door	208	1	60	1	9.3	46.0	R404A	3.4
4 Door	208	1	60	1 1/4	12.6	55.0	R404A	3.7
5 Door	208	1	60	2	12.0	56.0	R404A	6.2

**DEFROST CONTROLS (R404A)**

Defrosts Per Day	Run Off Time (Min) Electric	Fail-Safe (Min)	Termination Temp (°F)
1	0	46	48

**DEFROST SCHEDULE (R404A)**

Defrosts Per Day	Time
1	12 midnight

**NOTES:**

- "---" indicates that this feature is not an option on this case model.
- Listed discharge air velocity represents the average velocity at the peak of defrost.
- Temperature and defrost settings listed below are recommended start-up settings. Final operational settings may need to be adjusted for the store conditions in which the case operates.
- The recommended evaporator temperatures may need to be adjusted based on system setup, store conditions, etc. The minimum recommended evaporator temperature is 4°F below the listed evaporator temperature.
- The 24 Hour Energy Value is based upon AHRI 1200 test conditions with Hilphoenix provided Lights, occupancy sensor based (on/off) lighting control and dew point based anti-sweat heat controller.



ALL MEASUREMENTS ARE TAKEN PER ASHRAE 2008 SPECIFICATIONS. HILPHOENIX REFRIGERATED DISPLAY CASES FOR SALE IN THE UNITED STATES MEET OR EXCEED DEPARTMENT OF ENERGY 2017 REQUIREMENTS.

**JNRZHS (R404A)**

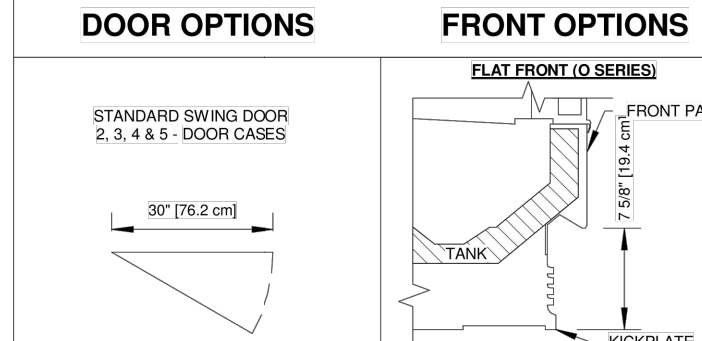
Rev. Date	Rev. #	Rev. Title
10-17-19	7	ENDVIEW UPDATE
9-12-19	6	DATA UPDATE



**JNRZHS**

High Narrow Reach-In Self Contained Merchandiser  
2, 3, 4 & 5 Door (Frozen Food)

**DOOR OPTIONS FRONT OPTIONS**



ALL MEASUREMENTS ARE TAKEN PER ASHRAE 2008 SPECIFICATIONS. HILPHOENIX REFRIGERATED DISPLAY CASES FOR SALE IN THE UNITED STATES MEET OR EXCEED DEPARTMENT OF ENERGY 2017 REQUIREMENTS.

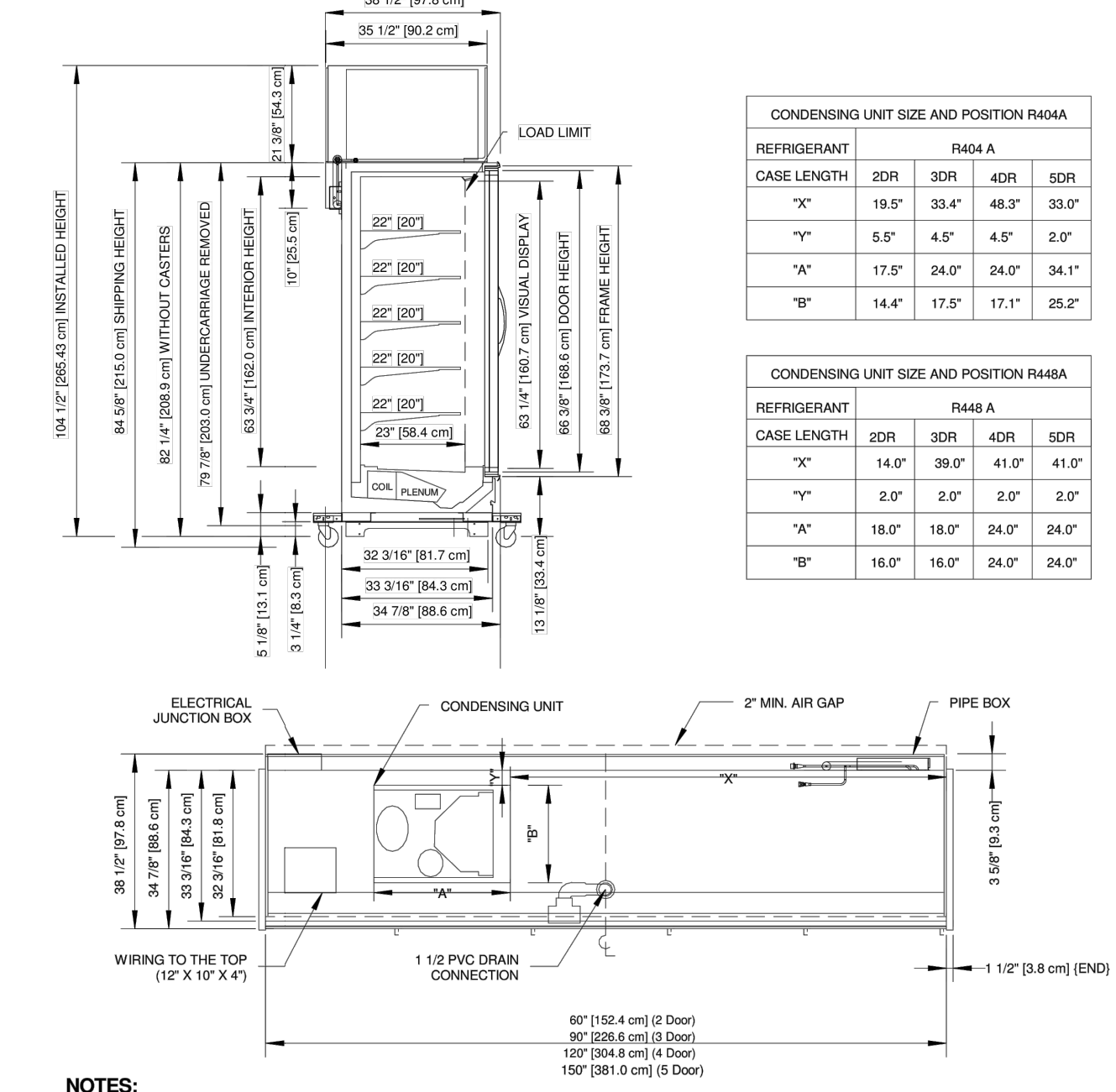
**JNRZHS**

Rev. Date	Rev. #	Rev. Title
10-17-19	7	ENDVIEW UPDATE
9-12-19	6	DATA UPDATE



**JNRZHS**

High Narrow Reach-In Self Contained Merchandiser  
2, 3, 4 & 5 Door (Frozen Food)



**NOTES:**

- STUB-UP AREA
- RECOMMENDED STUB-UP CENTERLINE FOR ELECTRICAL AND HUB DRAINS.
- Specialized Base Frame:
  - Case fits through 80" doorway with shipping undercarriage removed.
  - 2" filling brackets (installed) & 3.25" ship loose risers combine for 5" baseframe once installed.
  - Drain traps ship loose.
  - Ends add approximately 1" to case height, 1/2" to the back & 1" to the front.



ALL MEASUREMENTS ARE TAKEN PER ASHRAE 2008 SPECIFICATIONS. HILPHOENIX REFRIGERATED DISPLAY CASES FOR SALE IN THE UNITED STATES MEET OR EXCEED DEPARTMENT OF ENERGY 2017 REQUIREMENTS.

**JNRZHS**

Rev. Date	Rev. #	Rev. Title
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9-12-19	6	DATA UPDATE



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MARK	DATE	REVISION LOG
DESCRIPTION	BY	

ISSUE DATE: 11-30-2021  
PROJECT #: AM0210087  
DESIGNED: MMA  
DRAWN: EMH  
CHECKED: MMA

**GMC**  
GOODWIN MILLS CAWOOD  
11 NORTH WATER STREET, SUITE 6320  
MOBILE, AL 36602  
T 251-460-4008  
GMCNETWORK.COM

FOR REFERENCE ONLY

**FAMILY DOTY**  
ASHLAND, MISSISSIPPI  
TENANT BUILDOUT SET - VANILLA BOX UNDER SEPARATE PERMIT  
DEAL # 801694

REACH IN UNITS  
DETAILS AND  
SPECIFICATIONS  
**DS1**



**I. GENERAL CONTRACTOR'S RESPONSIBILITIES:**

- a. Read Cylon Retail Solutions (CRS) / Family Dollar (FD) Documentation Package.
- b. Review all FD drawings
- c. Confirm CRS Survey Form, pages 12-15 of this document, are completed and EMAILED to CRS National Account Team at [Surveys@Cylon.com](mailto:Surveys@Cylon.com) or FAXED to (855) 224-0879.
- d. Schedule remote EMS Commissioning **24 hours prior** to the desired commissioning date.
- e. At the time of EMS Commissioning Scheduling, confirm CRS Installation Checklist, pages 16-17 of this document, are completed and EMAILED or FAXED to CRS National Account Team at [Surveys@Cylon.com](mailto:Surveys@Cylon.com) or (855) 224-0879.

**II. ELECTRICAL RESPONSIBILITIES:**

**Power to all EMS equipment and devices must be OFF while terminations are made.**

- a. Provide all labor and installation material, as required, for a complete and operational EMS for this FD store location.
- b. Receive and store all CRS material in a dry and secure place until the EMS installation is completed.
- c. The EMS equipment will be supplied by CRS and installed by an approved FD contractor.
- d. Review the entire set of plans, perform a job site survey and inventory the CRS equipment to ensure the proper equipment has been ordered and received for a complete and operational CRS EMS.
- e. If any material is missing or additional equipment is required, immediately call CRS at (888) 211-6789 to request an order.
- f. Approved Contractor shall verify number of controlled lighting circuits against the design, report discrepancies, which cannot be resolved in the field, to the CRS National Account Support Team at (888) 211-6789 and wait for resolution instructions.
- g. Coordinate the EMS installation with the Mechanical Contractor to avoid any interference that may delay progress during construction.
- h. Perform all work in accordance with all National, State and Local Codes for this project.
- i. All EMS cables are to be installed per National and Local Codes. It is the Electrical Contractor's responsibility to determine if National and Local Codes permit Class 2 cables to be installed exposed within the building structure or if a full conduit system is required.
- j. EMT connectors and bushings are to be installed at the top of every conduit sleeve and threaded connector to protect EMS cables from abrasions.
- k. All cables are to be clearly and distinctly labeled within one foot of both ends.
- l. Furnish and install all required conduit, boxes, wire ways, fittings, straps, hangers and wiring for a complete and operational EMS as required.
- m. Furnish and install a dedicated 120 VAC circuit with breaker lock for the EMS Panel.
  - i. Label breaker: DO NOT TURN OFF / EMS
  - ii. Confirm wiring is completed as per this documentation package before applying power. Improper wiring will cause damage to equipment.
- n. Mount the EMS Panel adjacent to the electrical panels.
- o. Install an Ethernet cable run from the eSC RJ-45 jack located in the EMS Panel to the network switch specified by the FD networking team.
- p. Install and terminate the CRS BACnet communication trunk in a daisy chain fashion from the EMS Panel to each of the Thermostat Controls and all other BACnet devices. (see this documentation package for requirements)
- q. When applicable, mount the Auxiliary I/O Panel adjacent to the EMS Panel and ensure both panels are connected to the same Earth Ground.
- r. When applicable, ensure the Auxiliary I/O panel is connected in series with the other BACnet devices on the BACnet communications trunk.
- s. Mount and terminate the Outdoor Sensor Assembly (OSA) on the HVAC unit that resides closest to the EMS Panel. When installing, make sure OSA enclosure is:
  - i. Mounted on a 1" rigid riser with an 'LB' secured to the back of the OSA (Refer to FD detail as shown on EM-4)
  - ii. Mounted 3 feet above the HVAC unit
  - iii. Mounted facing North, away from the combustion heat blower and condenser fan
  - iv. Weather-proofed
  - v. Mounted with the white PVC sensor pointed downward
  - vi. Positioned to allow the Outdoor Light Sensor exposure to full ambient daylight but is not shadowed or exposed to any artificial illumination
- t. When applicable, mount and terminate the CO2 Sensor as per the location specified by the FD drawings and this documentation package.
- u. Mount and terminate the Override Button assembly as per the location specified by the FD drawings and this documentation package.
- v. When applicable, mount and terminate the Indoor Ambient Light Sensor(s) as per the location specified by the FD drawings and the Special Instructions in this documentation package.
- w. Install and wire coil and load sides of lighting contactors for designated lighting loads as required by FD and this documentation package
- x. Furnish and install a 3-pole, 20 amp breaker/disconnect at the Main Distribution Panel (MDP) for each Phase Loss Power Monitor.
- y. Terminate wiring as specified in this documentation package.
  - i. Label each breaker/disconnect: DO NOT TURN OFF / PHASE FAILURE
  - ii. Confirm wiring is completed as per this documentation package before applying power. Improper wiring will cause damage to equipment.
- z. Verify EMS Controller Input Jumpers are correctly set. For this install:
  - i. Input jumpers 1 – 4, 6 and 8 should be configured as Thermistor Inputs
  - ii. Input jumpers 5 and 7 should be configured as Voltage Inputs
- aa. Install and terminate the CRS Modbus communication trunk from the eSC Controller to the Electrical Meter. (Refer to OEM instructions and this documentation package for requirements)
- bb. Permanently mount and terminate the Electrical Meter in close proximity to the main utility power feed.
- cc. Permanently mount the 3 Current Sensors, one each, around the 3 phases of the main utility feed.
- dd. Terminate the 3 Current Sensors to the Energy Meter, correctly maintaining Electrical Phase and Meter Input relationships.
- ee. Using the OEM Instructions, configure the EMS Energy Meter for:
  - i. Proper Current Transformer (CT) Ratio - Current Sensor Primary (Ct) = 400 or 800 Amp
  - ii. Nominal Line to Line Voltage - Typically = 480 Vac (Based on Utility Service)
  - iii. Baud Rate = 19200
  - iv. Address = 1
  - v. Voltage Input Mode = True 3 Phase
  - vi. CT Auto Rotation = Auto Rotate
- ff. Provide a technician, on site, for an approximate 2-hour remote telephone checkout with CRS.
- gg. Coordinate with the Mechanical Contractor to verify HVAC control during the CRS remote telephone checkout.
- hh. Upon completion of the installation and prior to scheduling the Remote Commissioning Checkout, the Electrical Contractor will:
  - i. Fill in the forms below and fax them to CRS at (855) 224-0879.
  - ii. Confirm the Mechanical Contractor will be present during the CRS Remote Commissioning Checkout.
  - iii. Contact CRS to schedule a remote checkout at (888) 211-6789.

**III. MECHANICAL RESPONSIBILITIES:**

**Power to all EMS equipment and devices must be OFF while terminations are made.**

- a. Provide labor and installation material, as required, for a complete and operational EMS for this FD store location.
- b. Verify number and type of HVAC units against the design, report discrepancies, which cannot be resolved in the field, to the CRS National Account Support Team at (888) 211-6789 and wait for resolution instructions.
- c. Perform all work in accordance with all National, State and Local Codes for this project.
- d. Mount and terminate the SimpleSTAT module(s) as per the location(s) specified by the FD drawings and this documentation package.
- e. Utilizing 18/8 cable between the SimpleSTAT module and HVAC unit.
  - i. Terminate C, R, G, Y1, Y2, W1 and W2 on the HVAC unit for control of fan, cooling and heating.
  - ii. Terminate the communications cables to the SimpleSTAT(s) as shown in this documentation package.
- f. Set address on the SimpleSTAT module, as shown in the SimpleSTAT installation instructions. When communications to the EMS is in a failed state, the SimpleSTAT will operate 24/7 as a stand-alone STAT using the following temperature setpoints:
  - i. Default Cooling Setpoint = 72.0 °F
  - ii. Default Heating Setpoint = 68.0 °F
- g. Mount and terminate the Remote Space Temperature Sensor(s) as per the location(s) specified by the FD drawings and the Special Instructions in this documentation package.
  - i. In close proximity to the zone return air grille and away from supply air drafts.
  - ii. Install and secure the Remote Temperature Sensor wire to the Thermostat Controller.
- h. Mount the remote Supply Duct Temperature sensor of each HVAC unit.
  - i. The remote Supply Duct Temperature sensor should be mounted in the main Supply Air Duct on the interior side of the HVAC unit's building penetration.
  - ii. Utilizing 18/2 wire, terminate the supply duct temperature sensor wire to the Thermostat module as shown in this documentation package.
- i. Provide Electrical Contractor with roof plan layout, showing location of HVAC Units on the roof.
- j. Provide a technician, on site, for an approximate 2-hour remote telephone checkout with CRS.
- k. Coordinate with the Electrical Contractor to verify proper HVAC control during the CRS Remote Commissioning Checkout.

**IV. CYLON RETAIL SOLUTIONS RESPONSIBILITIES:**

- a. The following services will be supplied by CRS:
  - i. Shipping of all contracted EMS components for the job.
  - ii. Programming and downloading of CRS equipment and software.
  - iii. Provide telephone technical support at (888) 211-6789.
  - iv. Remote system checkout with installing contractor
- b. Verification of proper operation of the following items by exercising the controlled load:
  - i. Timed operation of all applicable EMS lighting loads – Interior and Exterior
  - ii. Outside light level control of all applicable EMS lighting loads – Interior and Exterior.
  - iii. Operation of HVAC heating stages, as indoor environment allows.
  - iv. Operation of HVAC cooling stages, as indoor and outdoor environments allow.
  - v. Verification of HVAC unit sensor readings – space and supply temperatures.
- c. If any end unit (e.g. lighting, HVAC unit, supply air fan, etc.) cannot be operated for mechanical or electrical reasons, CRS will verify the proper operation of the control devices (e.g. contactors, discrete I/O) leading up to the unit.

DEVICE LEGEND	
SYMBOL	DESCRIPTION
	HVAC UNIT CONTROLLER (SIMPLESTAT)
	HVAC UNIT CONTROLLER (TRC)
	DUCT TEMPERATURE SENSOR
	SPACE TEMPERATURE SENSOR
	OUTDOOR LIGHT SENSOR
	OUTDOOR TEMPERATURE & RELATIVE HUMIDITY SENSORS
	REMOTE TEMPERATURE SENSOR
	INDOOR CO2 SENSOR
	INDOOR RELATIVE HUMIDITY SENSOR
	INDOOR LIGHT SENSOR
	O/H DOOR SENSOR
	MAN DOOR SENSOR
	SECURITY INTERFACE DEVICE
	eBUILDING SYSTEM CONTROLLER
	REMOTE OVERRIDE SWITCH
	OCCUPANCY SENSOR

CABLE LEGEND				
KEY	SIZE	TYPE	MFG.	MFG. PART #
	18/2	SHIELDED PLENUM	WINDY CITY	# 002320-S
	18/4	SHIELDED PLENUM	WINDY CITY	# 002340-S
	18/8	NON SHIELDED PLENUM	WINDY CITY	# 002392-S
	18/10	NON SHIELDED PLENUM	WINDY CITY	# 002393-S
	24/8	CAT5 E PLENUM	WINDY CITY	# 5556140-S

WIRING LEGEND	
	FIELD WIRING
	POSITIVE
	NEGATIVE
	OPTIONAL COMPONENT



**FAMILY DOLLAR  
DRAWING NOTES  
(FOR REFERENCE ONLY)**

REVISION: 1.00
DATE: 09/11/18 ECN#: 2304
INITIAL DESIGN

REVISION: 1.10
DATE: 09/25/18 ECN#: 2342
CHANGE EM2 LAYOUT

REVISION:
DATE: ECN#:

REVISION:
DATE: ECN#:

DRAWN: WPC	ENGINEER: CGP
PART #: 94-339	OPTION: P

**ENERGY  
MANAGEMENT  
PLAN**

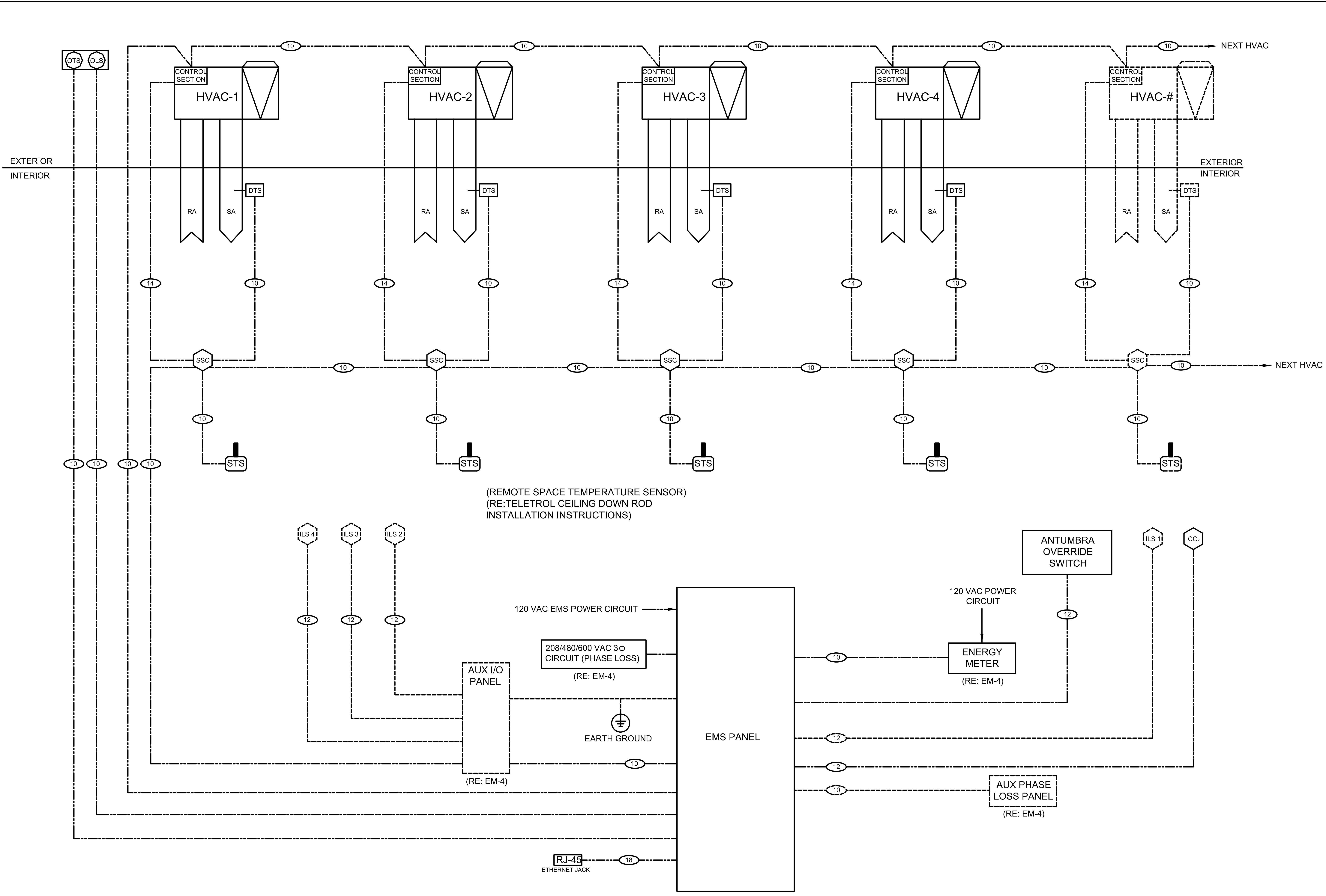
**EM-1 of 4**



# FAMILY DOLLAR LINE DIAGRAM (FOR REFERENCE ONLY NOT TO SCALE)

REVISION: 1.00	DATE: 09/11/18	ECN#: 2304
INITIAL DESIGN		
REVISION: 1.10	DATE: 09/25/18	ECN#: 2342
CHANGE EM2 LAYOUT		
REVISION: ---	DATE: ---	ECN#: ---
REVISION: ---	DATE: ---	ECN#: ---
DRAWN: WPC	CHECKED: CGP	PART #: 94-339
		OPTION: P

## ENERGY MANAGEMENT PLAN



(REMOTE SPACE TEMPERATURE SENSOR)  
(RE: TELETROL CEILING DOWN ROD  
INSTALLATION INSTRUCTIONS)

(MOUNTED IN ELECTRICAL ROOM/AREA ADJACENT TO LIGHTING  
CIRCUIT PANELS) (RE: EM-3 EMS WIRING DETAIL)

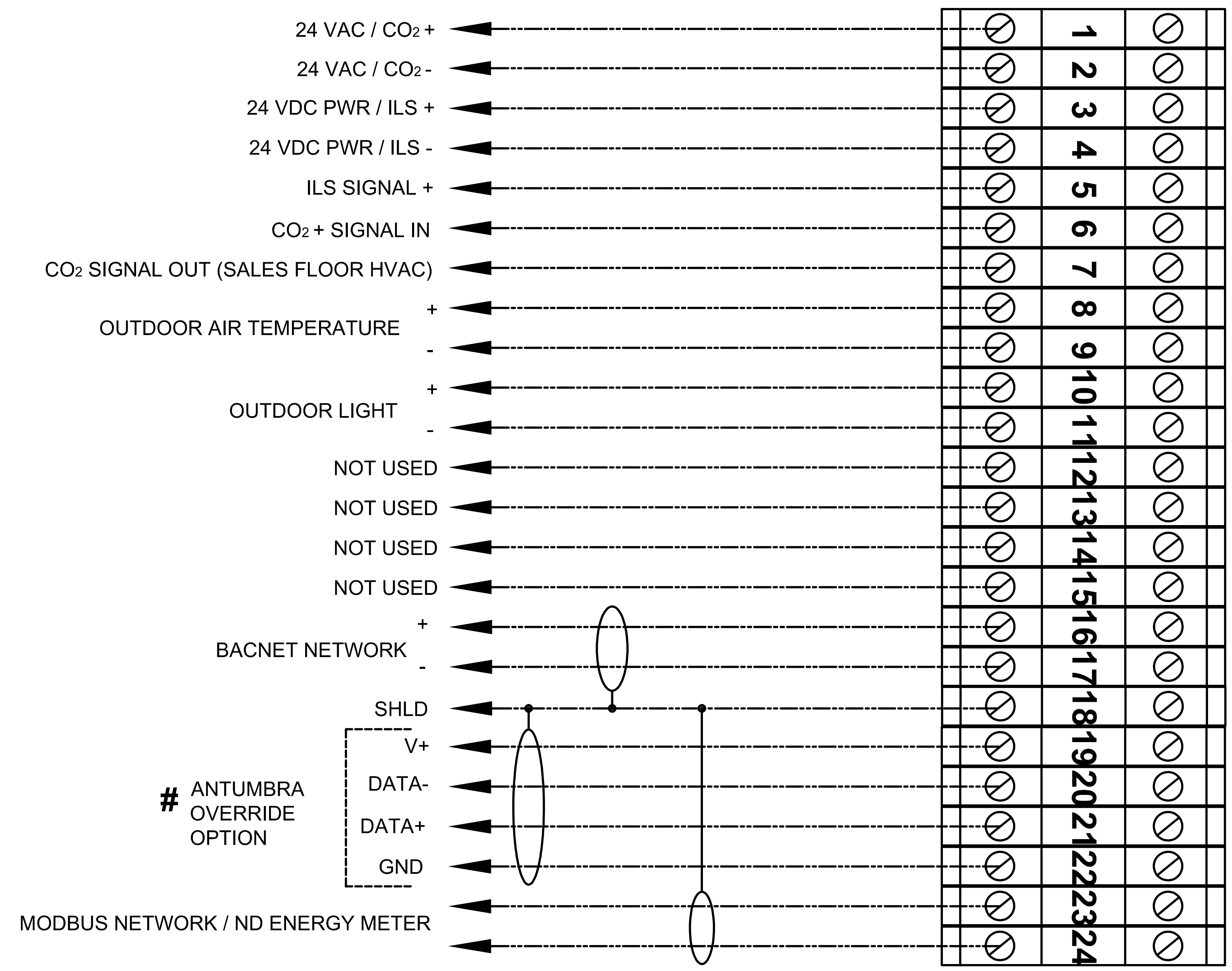
**ENERGY MANAGEMENT SYSTEM SINGLE LINE DIAGRAM**  
SCALE: None



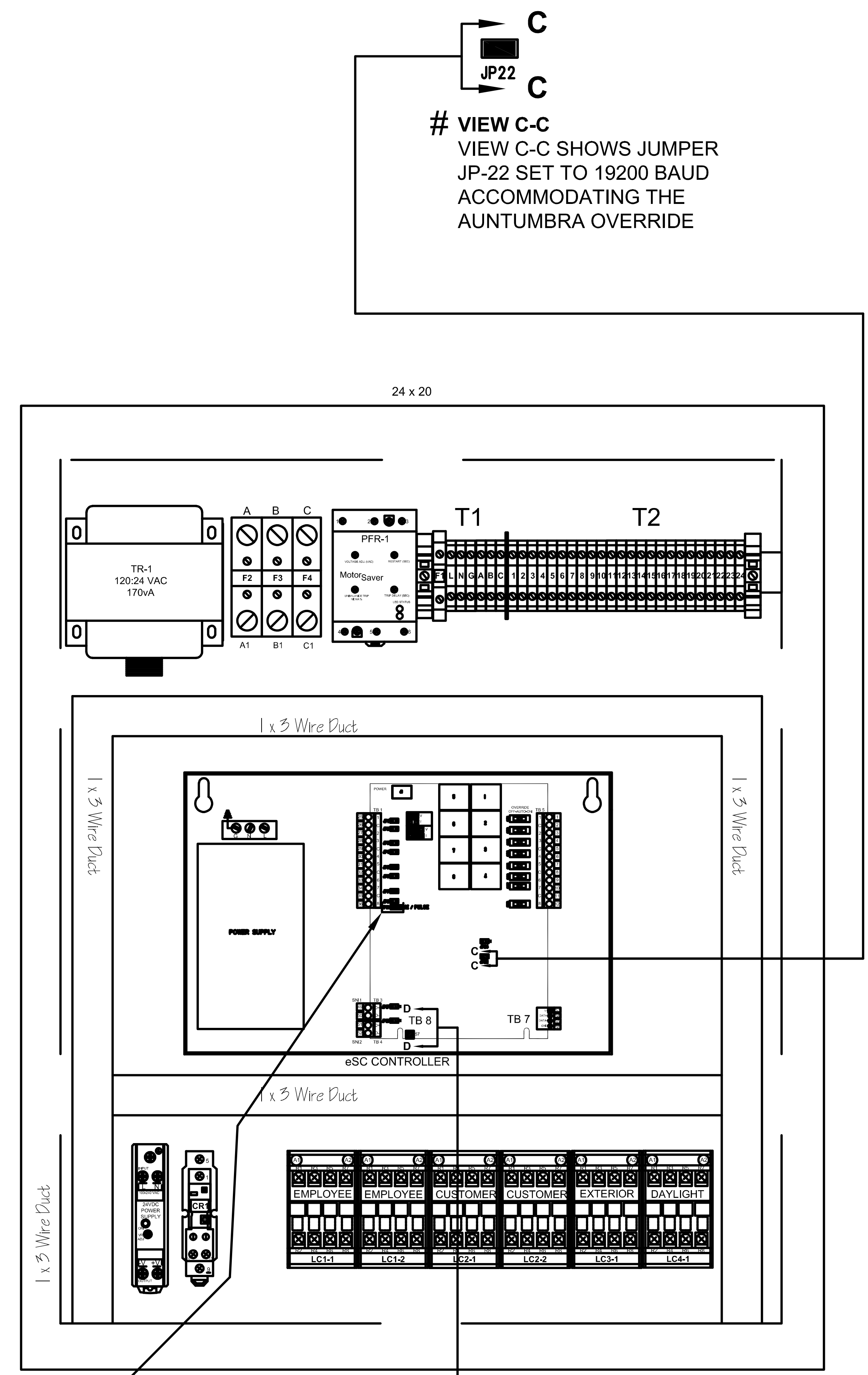
# FAMILY DOLLAR FIELD WIRING

(FOR REFERENCE ONLY NOT TO SCALE)

REVISION: 1.00	DATE: 09/11/18	ECN#: 2304
INITIAL DESIGN		
REVISION: 1.10	DATE: 09/25/18	ECN#: 2342
CHANGE EM2 LAYOUT		
REVISION: ----	DATE: ----	ECN#: ----
REVISION: ----	DATE: ----	ECN#: ----
DRAWN: WPC	CHECKED: CGP	
PART #: 94-339	OPTION: P	



- JUMPER SETTINGS**
- JP1
  - JP2
  - JP3
  - JP4
  - JP5
  - JP6
  - JP7
  - JP8
  - JP19

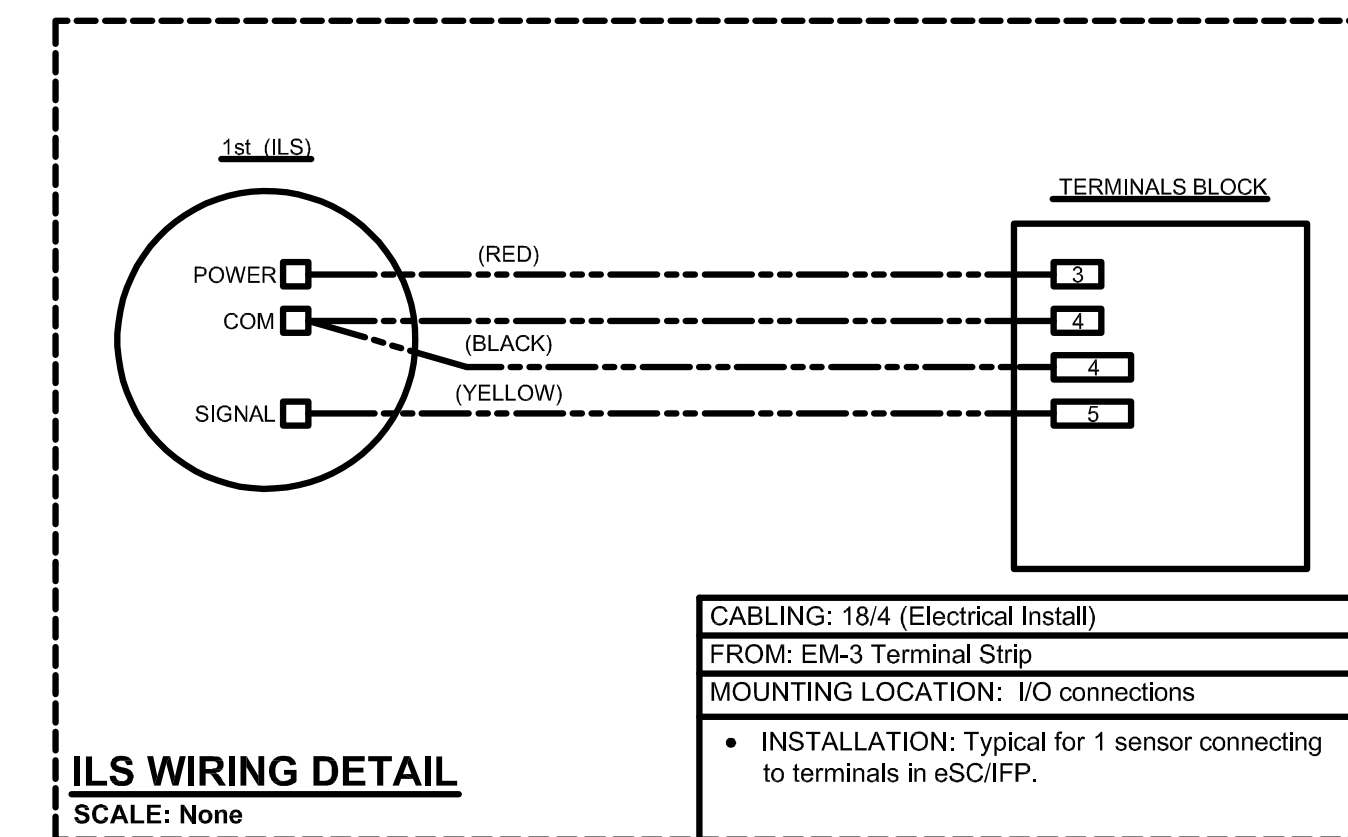
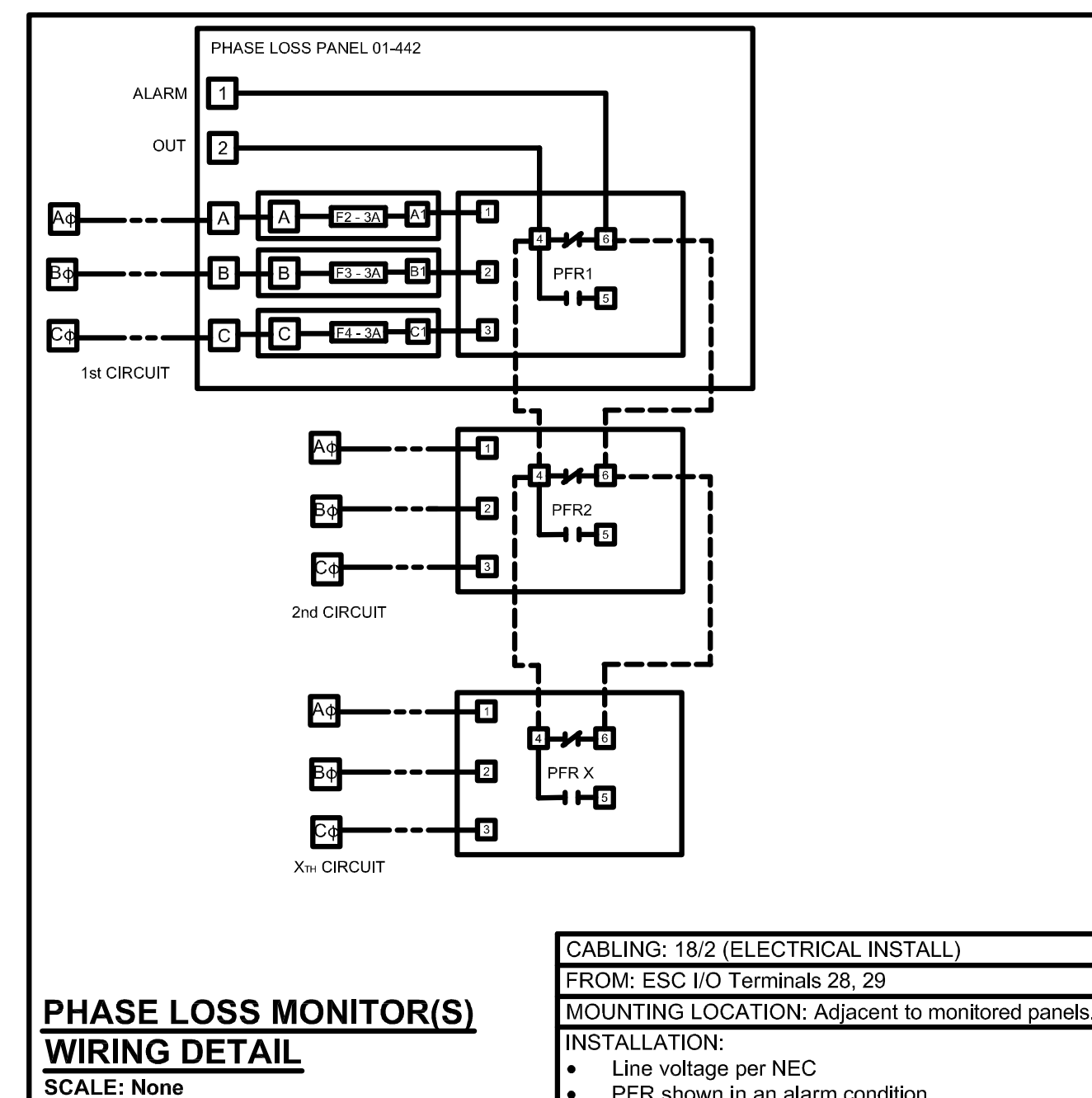
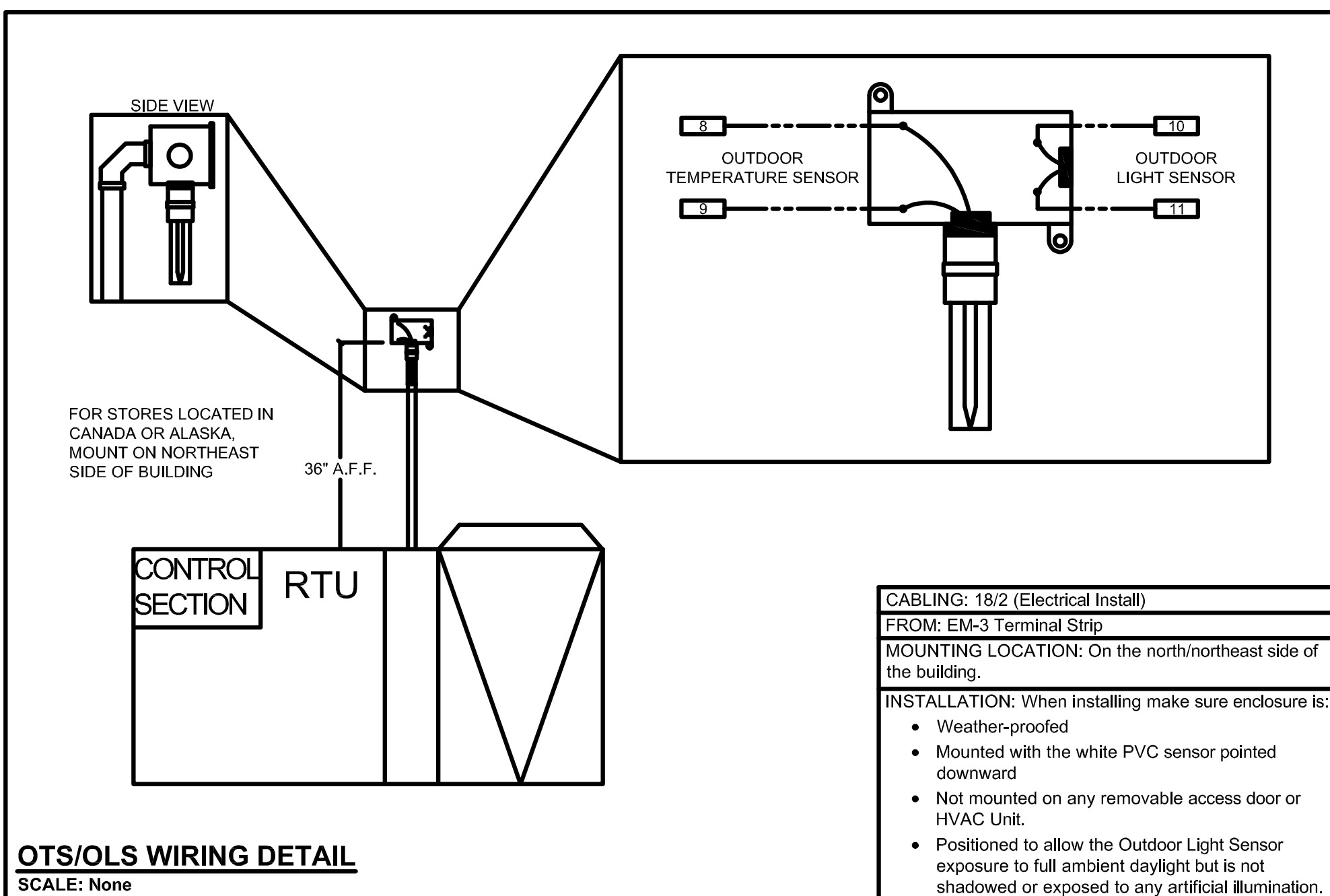
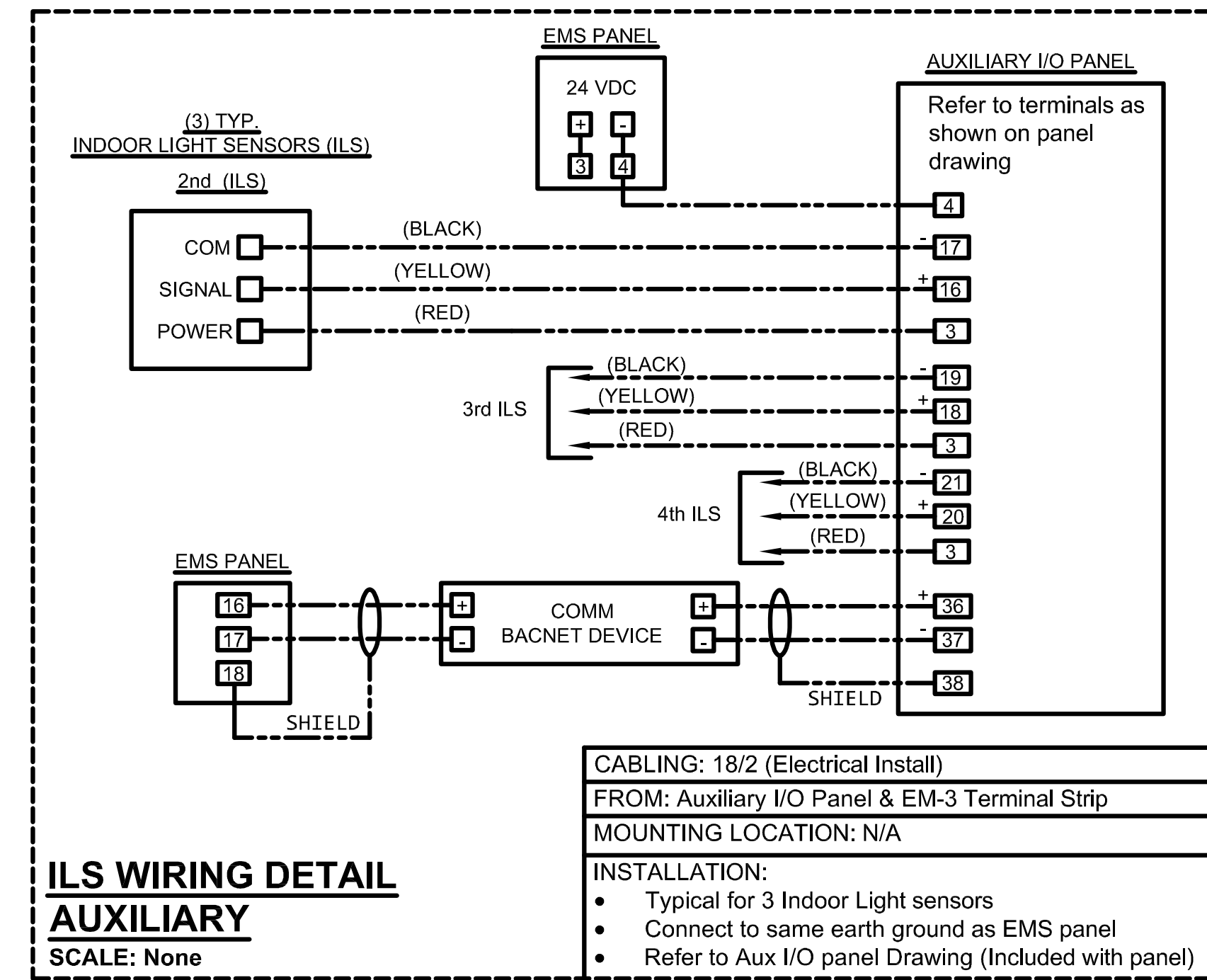
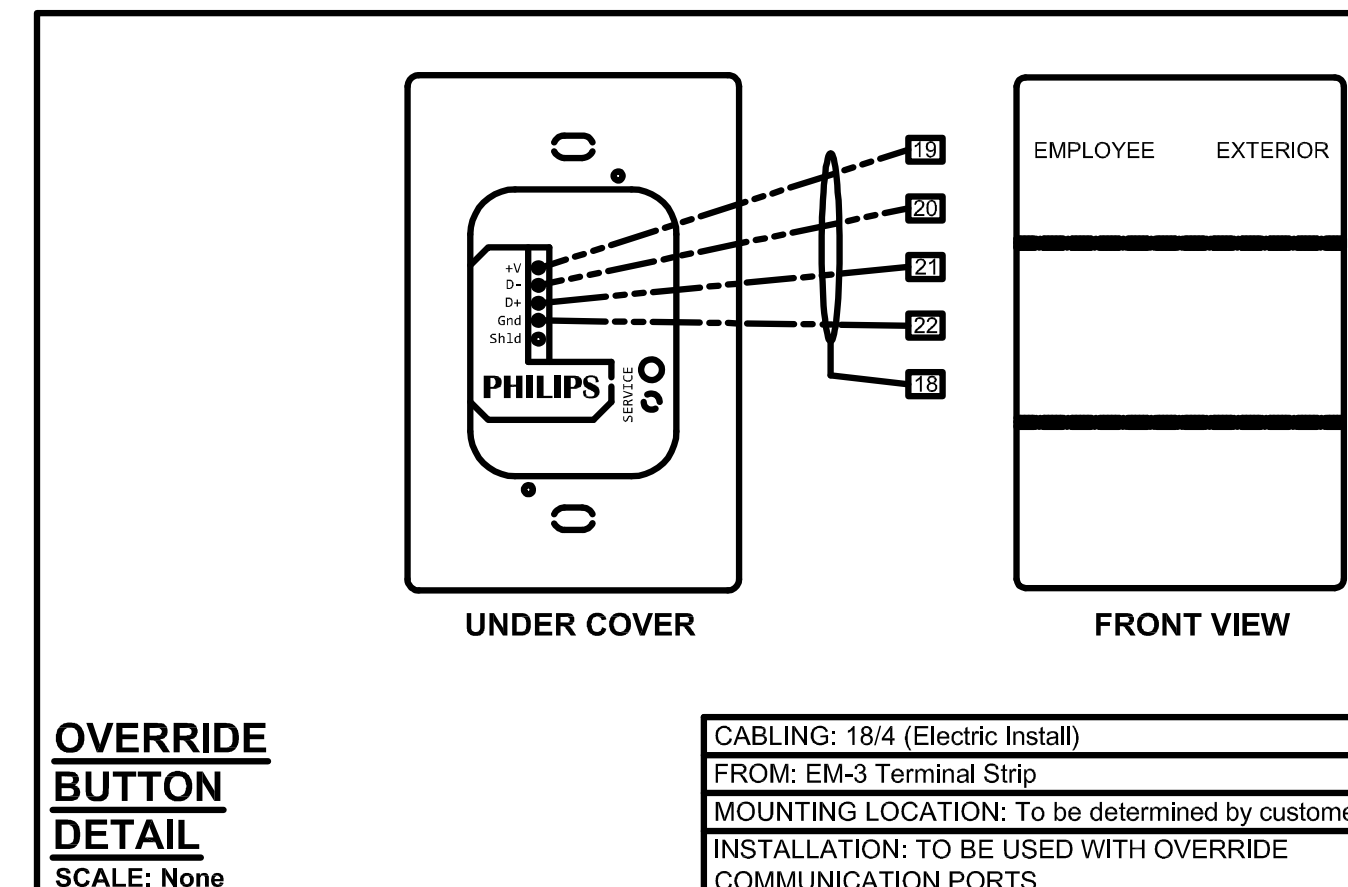
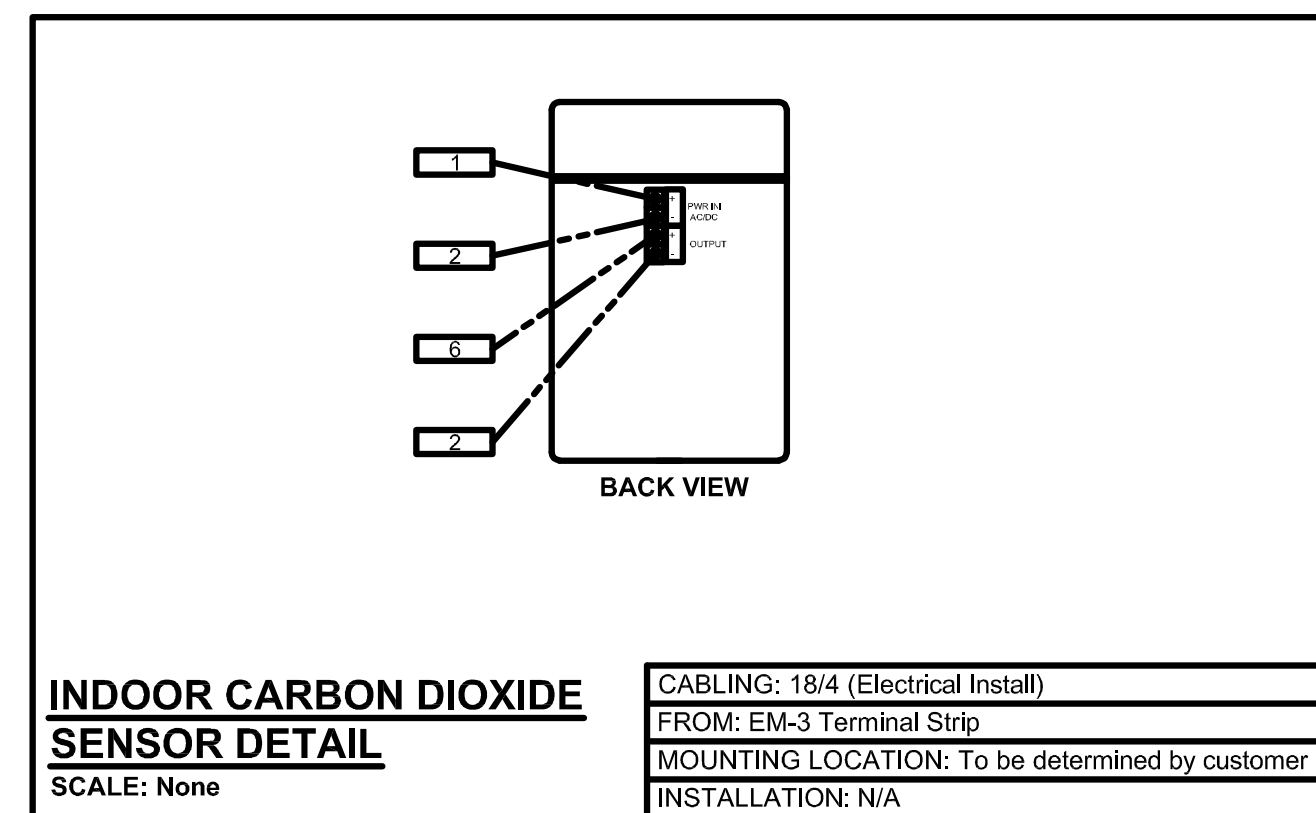
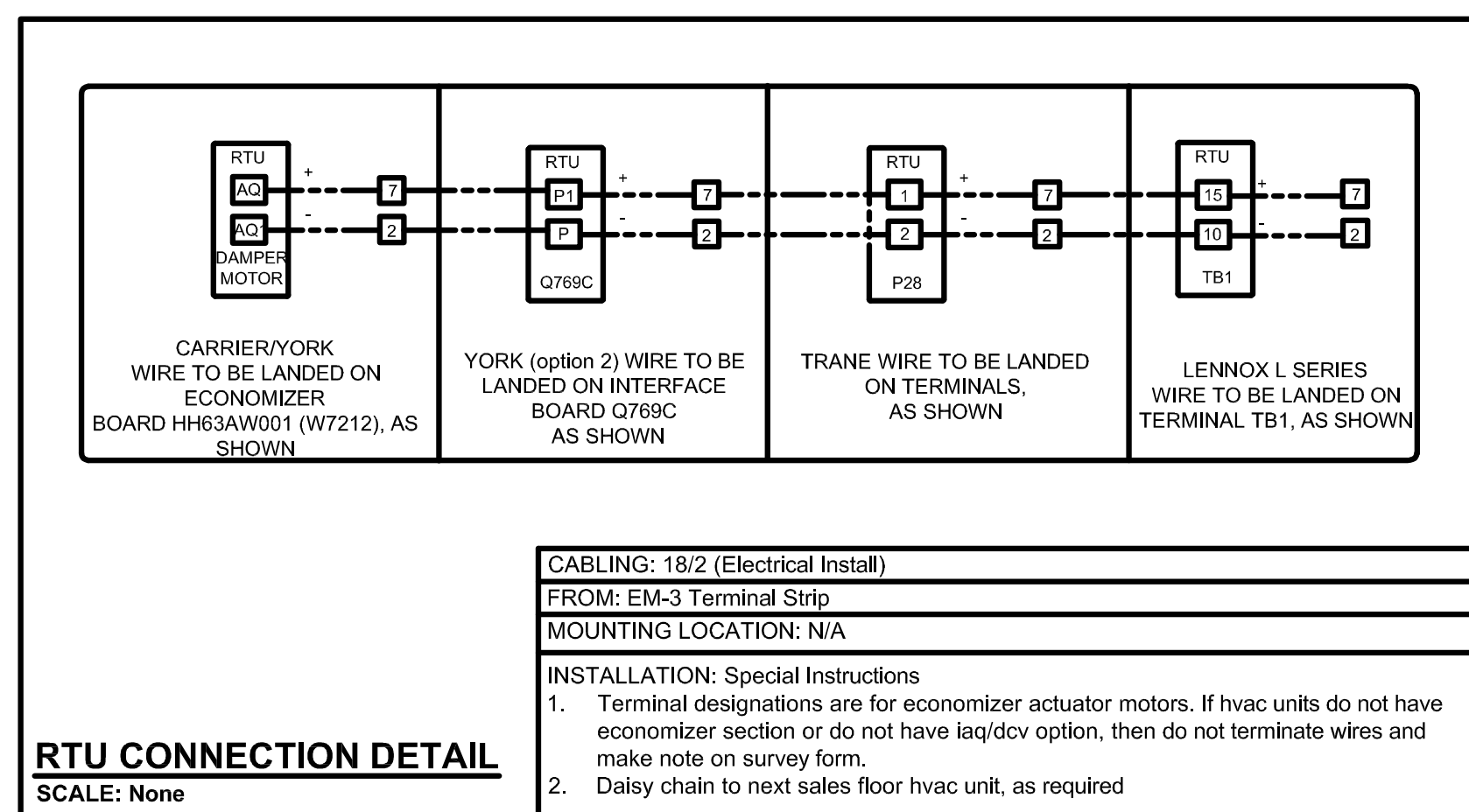
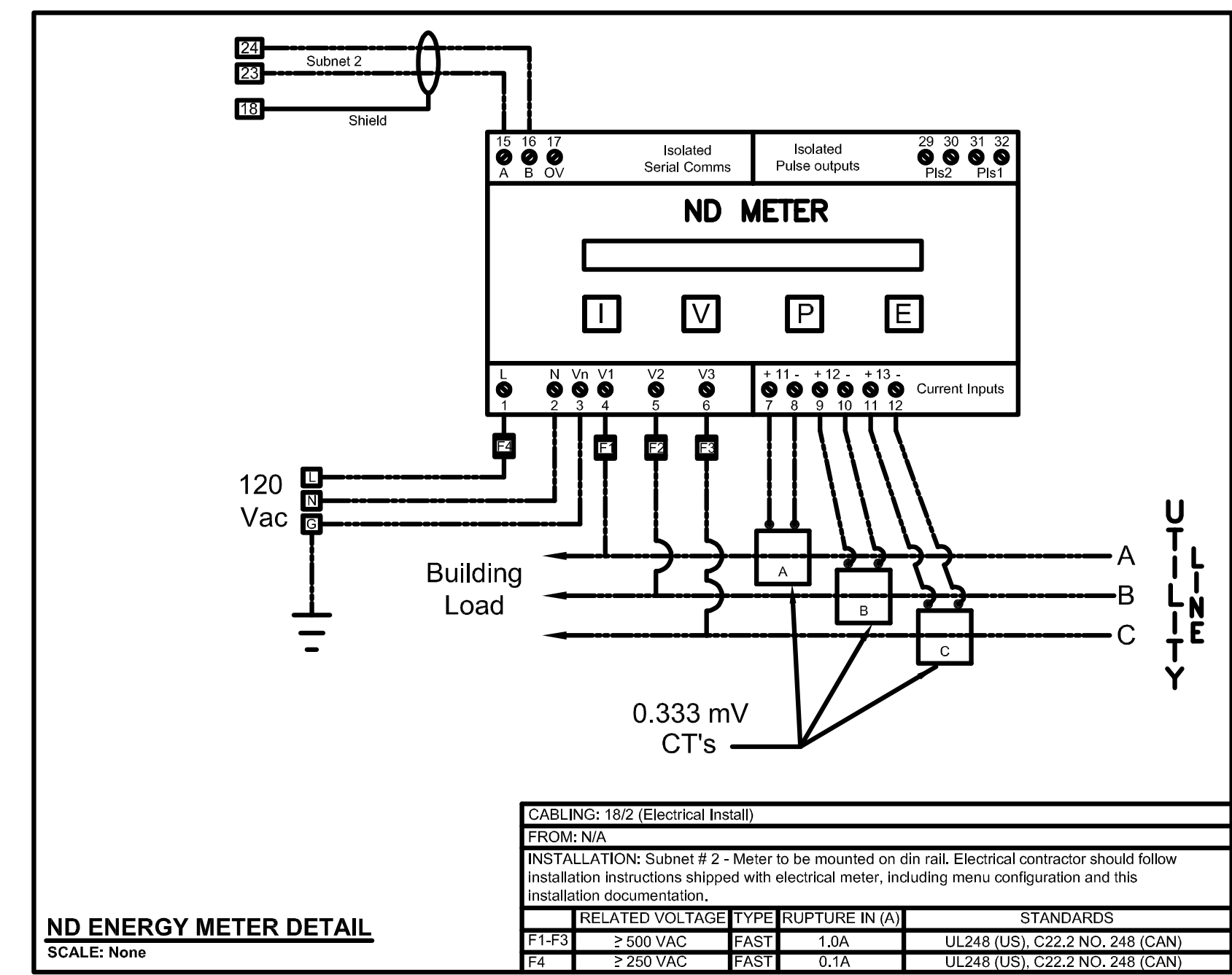
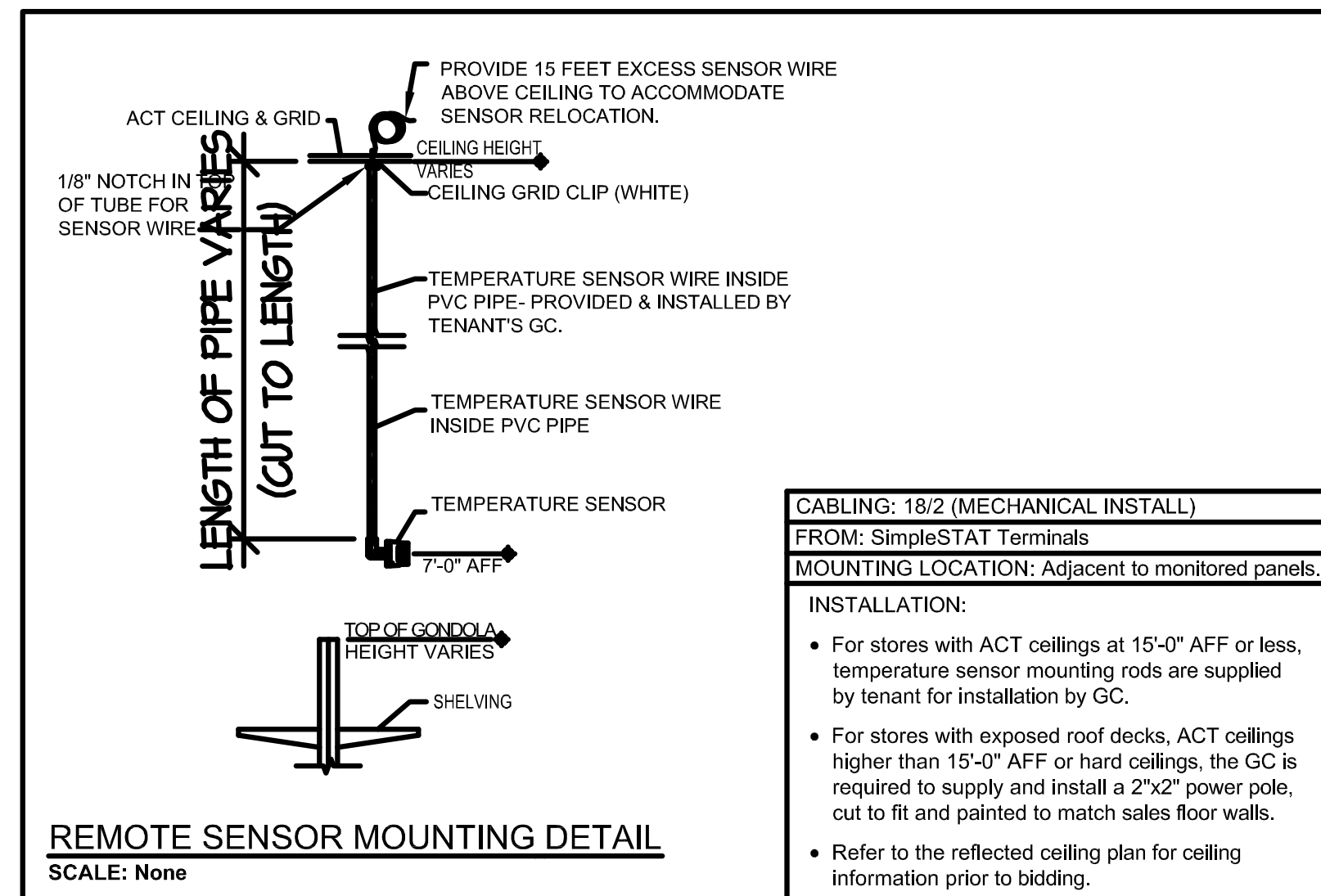
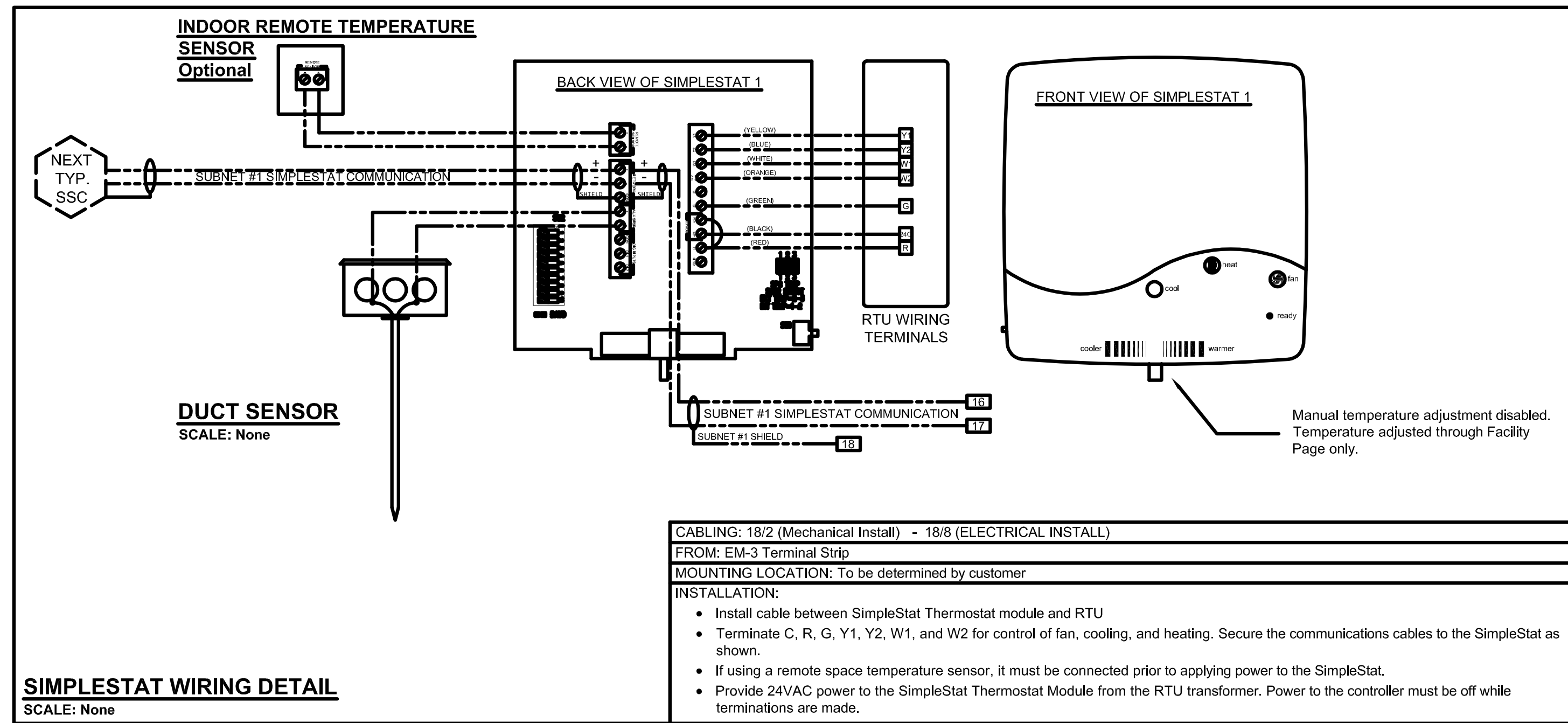


**# VIEW C-C**  
VIEW C-C SHOWS JUMPER JP-22 SET TO 19200 BAUD ACCOMMODATING THE AUNTUMBRA OVERRIDE

**INTERFACE PANEL & eSC WIRING DETAILS**  
SCALE: None

**VIEW D-D**  
VIEW D-D SHOWS TB8 MAXIMUM TIGHTENING TORQUE  
UL **4.4 lb-in** / SEV **0.5 Nm**





25 Sundial Ave - Suite 310 W  
Manchester, NH 03103

# FAMILY DOLLAR EQUIPMENT DETAILS (FOR REFERENCE ONLY NOT TO SCALE)

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INITIAL DESIGN		
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CHANGE EM2 LAYOUT		
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REVISION: ----	DATE: ----	ECN#: ----
DRAWN: WPC	CHECKED: CGP	
PART #: 94-339	OPTION: P	

## ENERGY MANAGEMENT PLAN